

## Temporary and Permanent Groundcover\*

may not apply depending on site conditions and the delegated authority having jurisdiction.

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, difches, stopes	7 days	None
High Quality Water (HQW) Zonos	7 days	None
Slopes steeper than 3:1	7 days	If elopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4.1	14 days	None, except for perimeters and HQW Zones

temporary groundcover no later than seven (7) days for slopes steeper than 3:1; ten (10) days for slopes equal to or flatter than 3:1; fourteen (14) days for areas with no slope.

#### **GROUND STABILIZATION SPECIFICATION** Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the

techniques in the table below: Temporary grass seed covered with straw or
 Permanent grass seed covered with straw or other mulches and tackifiers other mulches and tackifiers Hydroseeding Geotextîle fabrics such as permanent so Rolled erosion control products with or without reinforcement matting

temporary grass seed Hvdroseeding · Shrubs or other permanent plantings covered Appropriately applied straw or other mulch · Plastic sheeting with mulch Uniform and evenly distributed ground cove sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls

#### POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures Apply flocculants at the concentrations specified in the NC DWR List of Approved
- PAMS/Flocculants and in accordance with the manufacturer's instructions. Provide ponding area for containment of treated Stormwater before discharging
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

134" RAD. 1'-6"

1'-6" CURB AND GUTTER

SHOULDER BERM GUTTER

SECTION VIEW OF CURBS OR CURBS AND GUTTERS

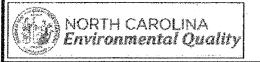
2'-4" MIN. - 1'8" RADIUS

JOINT WITH JOINT

JOINT/

LONGITUDINAL JOINT

SECTION VIEW OF JOINTS



2'-6" CURB AND GUTTER

2'-0" 2'-0"

EXPRESSWAY GUTTER

-PLACE CONTRACTION JOINTS AT 10' INTERVALS, EXCEPT THAT

SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED

CONTRACTION JOINTS MAY BE INSTALLED WITH THE USE OF

WITHOUT THE USE OF TEMPLATES AT 10' INTERVALS.

TEMPLATES OR FORMED BY OTHER APPROVED METHODS.

WITH JOINT FILLER AND SEALER.

ALL RIGID OBJECTS.

A 15' SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN

-JOINT SPACING MAY BE ALTERED IF REQUIRED BY THE ENGINEER.

CONSTRUCT NON-TEMPLATE FORMED JOINTS A MIN. OF 11/2" DEEP.

-FILL ALL CONSTRUCTION JOINTS, EXCEPT IN 8"x6" MEDIAN CURB

-SPACE EXPANSION JOINTS AT 90' INTERVALS AND ADJACENT TO

GENERAL NOTES:

### **EQUIPMENT AND VEHICLE MAINTENANCE**

- Maintain vehicles and equipment to prevent discharge of fluids
- Provide drip pans under any stored equipment. Identify leaks and repair as soon as feasible, or remove leaking equipment from the
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected. 6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products

# to a recycling or disposal center that handles these materials.

#### LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers. Provide a sufficient number of waste containers on site to manage the quantity of waste produced.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland. Cover waste containers at the end of each workday and before storm events. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds. Empty waste containers as needed to prevent overflow.
- 8. Dispose waste off-site at an approved disposal facility.

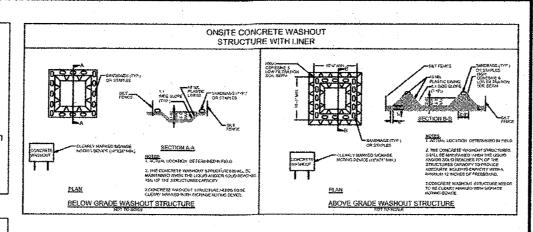
#### **PAINT AND OTHER LIQUID WASTE**

- Do not dump paint and other liquid waste into storm drains, streams or wetlands. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available. Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

### PORTABLE TOILET

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place
- on a gravel pad and surround with sand bags. Provide staking or anchoring of portable tollets during periods of high winds or in high foot traffic areas.
  - Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



#### **CONCRETE WASHOUTS**

- Do not discharge concrete or cement slurry from the site. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for
- review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location. Remove leavings from the washout when at approximately 75% capacity to limit
- components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions. 10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance

overflow events. Replace the tarp, sand bags or other temporary structural

Do not stockpile these materials onsite.

caused by removal of washout

- HERBICIDES, PESTICIDES AND RODENTICIDES Store and apply herbicides, pesticides and rodenticides in accordance with label
- restrictions. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.

#### **IAZARDOUS AND TOXIC WASTE**

\_\_\_\_\_ 1 1/2" TYPE S9.5B (NCDOT)

-8" ABC STONE (NCDOT)

PAVEMENT SECTION

6" PERVIOUS CONCRETE

-9" WASHED #57 STONE

50 INCHES PER HOUR USING A HEAD LESS

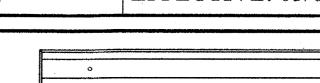
PERVIOUS CONCRETE

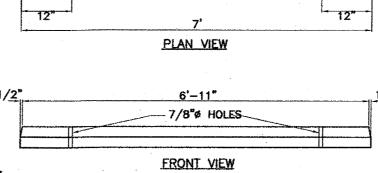
PAVEMENT SECTION

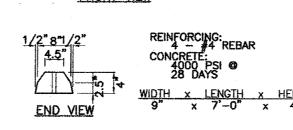
I OR EQUAL TO 4 INCHES.

Create designated hazardous waste collection areas on-site Place hazardous waste containers under cover or in secondary containment, Do not store hazardous chemicals, drums or bagged materials directly on the ground

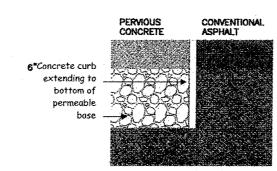
## NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 03/01/1



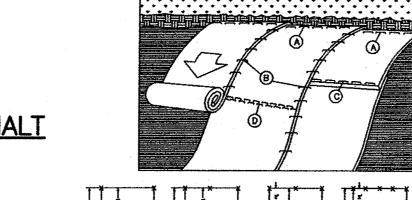


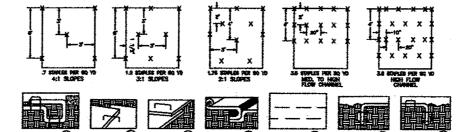


# WHEEL STOP DETAIL



 CONTRACTOR TO SCARIFY UPPER 6" SUBGRADE JUST PRIOR TO INSTALLATION OF STONE.
 PERVIOUS CONCRETE SHALL HAVE A PERVIOUS CONCRETE SHALL HAVE A DEMONSTRATED INFILTRATION RATE OF AT LEAST PERVIOUS CONCRETE/ASPHALT OF INCHES PER HOUR USING A HEAD LESS PER HOUR USING A HEAD LESS <u>TRANSITION DETAIL</u> AFTER INSTALLATION, PERVIOUS CONCRETE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION UNTIL THE SITE IS COMPLETED AND STABILIZED. AN IN—SITU PERMEABILITY TEST SHALL BE CONDUCTED AND CERTIFIED ON THE PAVEMENT AFTER SITE STABILIZATION.





BASIC INSTALLATION GUIDELINES
THESE GUIDELINES ARE RECOMMENDATIONS ONLY. ANY QUESTIONS ABOUT THE 1. PREPARE THE SOIL SURFACE INCLUDING RAKING, SEEDING AND FERTILIZING 2. BEGIN THE INSTALLATION PROCESS BY DIGGING A TRENCH 6" DEEP BY 6" WIDE AT THE TOP OF THE SLOPE. PLACE 12" OF BLANKET OVER THE UP-SLOPE PORTION OF THE TRENCH. SECURE THE BLANKET AT THE BOTTOM OF THE TRENCH WITH STAPLES PLACES 12" APART. BACKFILL AND COMPACT THE TRENCH. APPLY SEED AND FOLD REMAINING 12" OF BLANKET OVER SOIL, SECURE WITH A ROW OF STAPLES PLACE 12" APART ACROSS THE WIDTH OF THE BLANKET. (SEE DIAGRAM A)
3. ROLL THE BLANKET VERTICALLY DOWN THE SLOPE. SECURE USING THE APPROPRIATE

STAPLE PATTERN SHOWN HERON SPECIFIED BY SLOPES. 4. PARALLEL BLANKETS MUST BE OVERLAPPED BY A MINIMUM 4" AND SECURED WITH A ROW OF STAPLES PLACES APPROXIMATELY 3' APART. (SEE DIAGRAM B) 5. ADDITIONAL VERTICAL BLANKETS CAN BE JOINED USING A MINIMUM 4" OVERLAPPING (SHINGLE STYLE) IN THE DIRECTION OF WATER FLOW. CONNECT THE BLANKETS BY USING STAPLES APPROXIMATEY12" APART ACROSS THE WIDTH OF THE BLANKET, (SEE 6. FOR MAXIMUM PERFORMANCE A CHECK SLOT SHOULD BE PLACED AT 25'-40' INTERVALS. A 6" DEEP BY 6" WIDE TRENCH IS MADE. THE BLANKET IS PLACE T THE

BOTTOM OF THE TRENCH AND COVERED WITH APPROXIMATELY 2" OF SOIL. THE BLANKET IS ROLLED OVER COMPACTED SOIL AND SECURED WITH STAPLES PLACES 4" APART. A SECOND ROW OF STAPLES SHOULD BE PLACES 4" BELOW IN A STAGGERED PATTERN. BACKFILL AND COMPACT THE TRENCH. APPLY SEED AND CONTINUE WITH GENERAL INSTALLATION. (SEE DIAGRAMS D & E) 7. THE END OF THE BLANKET MUST BE SECURED IN A 6" x 6" TRENCH WITH A ROW OF STAPLES PLACED AT 12" INTERVALS. (SEE DIAGRAM F)

**EXCELSIOR MATTING INSTALLATION** 

TEMPORARY SEEDING SPECIFICATION SEEDING MIXTURE SPECIES Rye (grain)
Annual lespedeza (Kobe in
Piedmont and Coastal Plain,
Korean in Mountains) Omit annual lespedeza when duration of temporary cover is not to extend beyond June. German Millet SUMMER In the Piedmont and mountains, small—stemmed sundangrass may be substituted at a rate of 50 if/acre German Millet SEEDING DATES LATE WINTER & EARLY SPRING SUMMER Mountains - Aug 15-Dec 15 Coastal Plain and Piedmant - Aug 15-Dec 3 FALL SOIL AMENDMENTS FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LF/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER. APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPIALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL. MAINTENANCE REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE, RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

-18-GAUGE HARDWARE CLOTH (1/4 NESH OPENINGS)

- WIRE FABRIC

- FILTER FABRIC

AROWARE CLOTH AND GRAVEL INLET PROTECTION

FENCE FABRIC SHALL BE A MIN. OF 32" IN WIDTH AND SHALL HAVE A MIN. OF SIX LINE WIRES WITH 12" STAY

TEMPORARY SILT FENCE

TEMPORARY GRAVELLED

CONSTRUCTION ENTRANCE

<u>BUILDING WASTE HANDLING</u> 1. NO PAINT OR LIQUID WASTES IN STREAMS OR STORM DRAINS.

UNLESS NO REASONABLE ALTERNATIVES AVAILABLE

WITH SURFACE WATERS, WETLANDS OR BUFFERS.

SAME WEEKLY INSPECTION REQUIREMENTS

UNLESS DRAINAGE AREA IS LESS THAN 1 ACRE.

2. USE ONLY DWQ-APPROVED FLOCCULENTS.

STORMWATER PERMIT NCG010000.

AVAII ARI F.

CERTAIN CONDITIONS.

2. DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION AND OTHER

3. EARTHEN-MATERIALS STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES

4. CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT

2. SAME RAIN GAUGE AND INSPECTIONS AFTER 0.5" RAIN EVENT.

3. INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL BUSINESS

5. RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON

BUSINESS HOURS UNLESS A SITE-SPECIFIC EXEMPTION IS APPROVED.

6. ELECTRONICALLY AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER

4. INSPECTION REPORTS MUST BE AVAILABLE ON-SITE DURING

1. OUTLET STRUCTURES MUST WITHDRAW FROM BASIN SURFACE

NPDES—SPECIFIC PLAN SHEETS NOTES

1. THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL

NPDES GENERAL STORMWATER PERMIT NCGO10000 ONLY

3. THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE

2. THIS PAGE CAN BE APPROVED BY THE COUNTY PURSUANT TO

EXCLUSIVELY PURSUANT TO NPDES GENERAL STORMWATER PERMIT

4. THE COUNTY IS NOT AUTHORIZED TO ENFORCE THIS PAGE OF THE

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PLANS AND IT IS NOT A PART OF THE APPROVED PLANS FOR THE

PURPOSES OF ENFORCEMENT ACTION UNDER THE COUNTY CODE.

WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS

SIGNETICANT (G\* OR GREATER) RAMPALL EVENT, CLEAR THE MESH WIRE OF ANY DERRIS OR STHER GAMECTS TO PROVIDE ADEQUATE FLOW FOR SURSEQUENT RAMS. TAKE CAME NOT TO DAMAGE OR UNDERCOT THE WIRE MESH DURING STRUMENT REMANAUL REPLACE STRUME AS INSTRUCT

ASTRUCTION SPECIFICATIONS:

UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING
E HILET.

THE BILET.

2. DRIVE 8 - FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROLADING THE BILET. SPINCE POSTS EVENLY AROUND THE PERMETER OF THE BILET, A MADDIMIN OF 4 FEET AWART.

3. SURROLADIN THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MODILE, AND BOTTOM, PLACINGA 2-FOOT FLAP OF WIRE MESH UPDER THE GROVEL FOR ANCHORING IS RECOMMENDED. A. PLACE CLEAN GROVEL (NODOT #5 OR #67 STONE) ON A 2:1 SLOPE WITH A REGISH OF 16 MICHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE 3. ONCE THE CONTRIBUTION DROWING AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.

EVANORS.

COMPACT THE AREA PROPERLY AND STABILIZED IT WITH

PERMANENT GRASSING DETAIL SEEDING MIXTURE SPECIES RATE (lb/gcre) TALL FESCUE
(BLEND OF 2 OR 3 IMPROVED VARIETIES) SEEDING NOTES (SPRING-SUMMER) SEEDING DATES SPRING SUMMER APRIL 1 - JULY 15

SOIL AMENDMENTS APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000 ib/gore GROUND AGRICULTURE LIMESTONE AND 500 ib/gore 10-10-10 APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000-5,000 ib/gcre ground agriculture limestone (use the lower rate on sandy soils) and 1,000 ib/gcre 10-10-10 fertilizer.

FERTILIZE ACCORDING TO SOIL TESTS OR APPLY 40 LF/ACRE NITROGEN IN JANUARY OR FEBRUARY, 40 LB IN SEPTEMBER AND 40 LB IN NOVEMBER, FROM A 12-4-8, 16-4-8, OR SIMILAR TURY FERTILIZER, AVOID FERTILIZER APPLICATIONS DURING WARM WEATHER, AS THIS INCREASES STAND LOSSES TO DISEASE, RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY, MOW TO A HEIGHT OF 2.5-3.5 INCHES AS NEEDED.

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SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS	8. 9.
PERIMETER DIKES, WALES, DITCHES IND SLOPES	7 DAYS	NONE	10.
ligh quality vater (hqw) ones	7 DAYS	NONE	1.
Lopes Steeper Han 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.	2.
LOPES 3:1 OR LATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH	<b>3.</b> .
LL OTHER AREAS	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND	

# NPDES GROUND STABILIZATION CRITERIA

SITE POLLUTANTS NOTES

1. LOCATE AREAS DEDICATED FOR MANAGEMENT OF LAND CLEARING AND DEMOLITION DEBRIS, CONSTRUCTION AND DOMESTIC WASTE. AND HAZARDOUS OR TOXIC WASTE. THIS LOCATION SHALL BE AT LEAST 50' AWAY FROM STORM DRAIN INLETS AND SURFACE WATERS UNLESS IT CAN BE SHOWN THAT NO OTHER ALTERNATIVES ARE REASONABLY AVAILABLE. DUMPING OF PAINT OR OTHER LIQUID BUILDING MATERIAL WASTES IN STORM DRAINS IS PROHIBITED. LITTER AND SANITARY WASTE-THE PERMITTEE SHALL CONTROL THE MANAGEMENT AND DISPOSAL OF LITTER AND

SANITARY WASTE FROM THE SITE. 4. LOCATE EARTHEN-MATERIAL STOCK PILE AREAS AT LEAST 50' AWAY FROM STORM DRAIN INLETS AND SURFACE WATERS UNLESS IT CAN BE SHOWN THAT NO OTHER ALTERNATIVES ARE REASONABLY AVAILABLE 5. CONCRETE MATERIALS ONSITE, INCLUDING EXCESS CONCRETE, MUST BE CONTROLLED AND MANAGED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS OR BUFFERS. NO

CONCRETE OR CEMENT SLURRY SHALL BE DISCHARGED FROM THE SITE. ANY HARDENED CONCRETE RESIDUE WILL BE DISPOSED OF, OR RECYCLED ON SITE, IN ACCORDANCE WITH LOCAL AND STATE SOLID WASTE REGULATIONS. SOIL STABILIZATION SHALL BE ACHEIVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING

ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. 8. CONDITIONS-IN MEETING THE STABILIZATION REQUIREMENTS

EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE.

ALL SLOPES 50' IN LENGTH OR GREATER SHALL APPLY TO

ABOVE. THE FOLLOWING CONDITIONS OR EXEMPTIONS SHALL

GROUND COVER WITHIN 7 DAYS EXCEPT WHEN THE SLOPE IS FLATTER THAN 4:1. SLOPES LESS THAN 50' SHALL APPLY GROUND COVER WITHIN 14 DAYS EXCEPT WHEN SLOPES ARE STEEPER THAN 3:1, THE 7-DAY REQUIREMENT APPLIES. II. ANY SLOPED AREA FLATTER THAN 4:1 SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT. iv. SLOPES 10' OR LESS IN LENGTH SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT EXCEPT WHEN THE SLOPE IS STEEPER THAN 2:1. ALTHOUGH STABILIZATION IS USUALLY SPECIFIED AS GROUND COVER, OTHER METHODS, SUCH AS CHEMICAL

STABILIZATION. MAY BE ALLOWED ON A CASE-BY-CASE BASIS. i. FOR PORTIONS OF PROJECTS WITHIN THE SEDIMENT CONTROL COMMISSION—DEFINED "HIGH QUALITY WATER ZONF" (15A NCAC 04A. 0105), STABILIZATION WITH GROUND COVER SHALL BE ACHIEVED AS SOON AS PRACTICABLE BUT IN ANY EVENT ON ALL AREAS OF THE SITE WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACT.

SITE WORK NOTES REVISIONS THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIARIZED WITH EXISTING CONDITIONS BOTH ON AND IMMEDIATELY ADJACENT TO THE SITE Jate Description B CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMIT OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN. GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION. MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY. FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL REPORT. THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES. THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING. O. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH

EXISTING SURVEYING PERFORMED BY BATEMAN CIVIL SURVEY COMPANY AND SUPPLIED BY THE OWNER. 2. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION. 3. THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.

14. ALL PVC UTILITY MAINS SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER AT FINAL GRADE. 15. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL AND STATE CODES.

METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS. ALL PAVEMENT, BASE AND SUBGRADE SHALL CONFORM TO NODOT STANDARDS INCLUDING WORKMANSHIP, MATERIALS AND EQUIPMENT. APPROPRIATE BARRICADES, SIGNS, LIGHTS OR OTHER TRAFFIC CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH NCDOT TO MAINTAIN SAFETY AND TWO WAY TRAFFIC

7. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES. 18. CONCRETE STORM DRAINAGE PIPE SHALL BE CLASS III WITH RUBBER GASKETED JOINT. AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. 19 USF WHITE LANE MARKING PAINT FOR ALL PAVEMENT MARKINGS. PAINT SHALL RE A

CHLORINATED RUBBER ALKYD, FS TT-P-115, TYPE III, FACTORY MIXED, QUICK DRYING, NON BLEEDING. REFLECTIVE MATERIAL MAY BE ADDED AT OWNER'S OPTION FOR NIGHT REFLECTING 20. DUCTILE IRON SHALL BE CLASS 50. 21. CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE

STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.

BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR. 23. SEE GEOTECHNICAL REPORT NO. \_\_\_\_\_ FOR ADDITIONAL REQUIREMENTS.

#### **CONSTRUCTION SEQUENCE** . NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR

CONSTRUCTION

EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL). NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION. INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELED CONSTRUCTION ENTRANCE, SILT FENCE, CHECK DAMS, ETC. INSTALL ALL SECONDARY EROSION CONTROL MEASURES AS SOON AS POSSIBLE AFTER BEGINNING

ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN. SILT FENCE AND INLET PROTECTION ARE TO BE CLEANED WHEN 0.5 FEET OF SEDIMENT HAVE ACCUMULATED IN FRONT OF THE DEVICE OR WHEN THEY LEAK OR FAIL. SEDIMENT TRAPS ARE CLEANED OUT AS STATED OR WHEN HALF FULL IF APPLICABLE. CONSTRUCT PROPOSED RETENTION POND TO ACT AS A SEDIMENT BASIN

DURING CONSTRUCTION. REMOVE ACCUMULATION OF SILT AS REQUIRED TO ALLOW PROPER FUNCTIONING. RESTORE POND TO DESIGN LEVELS AT THE COMPLETION OF CONSTRUCTION. IF APPLICABLE. INSTALL DROP INLETS WITH INLET PROTECTION TO ACT AS SILT TRAPS DURING CONSTRUCTION. REMOVE ACCUMULATED SILT AS NEEDED TO PREVENT SILT FROM ENTERING STORM DRAIN PIPING. A 4" LAYER OF TOPSOIL SHALL BE APPLIED TO ALL NEW AREAS TO BE GRASSED.

MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE. MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS PLAN PROVE TO BE LESS EFFECTIVE. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.

# ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND

OPERATION FOLLOWING EVERY RUNOFF—PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL, ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK

AND GRAVEL INLET, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT. DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF

ACTIVITY ASSOCIATED WITH A SWALE 5. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC. WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED SEDIMENT WILL BE REMOVED FROM SEDIMENT TRAPS WHEN THE DESIGNED STORAGE CAPACITY HAS

BEEN HALF FILLED WITH SEDIMENT. THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR WHEN THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE. TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR IF THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED FROM BAFFLES WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND

WILL BE KEPT CLEAN. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS. FLOCCULATES WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECTION SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TURBID DISCHARGES DAILY.

SITE POLLUTANTS NOTES

1. LOCATE AREAS DEDICATED FOR MANAGEMENT OF LAND CLEARING AND DEMOLITION DEBRIS, CONSTRUCTION AND DOMESTIC WASTE, AND HAZARDOUS OR TOXIC WASTE. THIS LOCATION SHALL BE AT LEAST 50' AWAY FROM STORM

DRAIN INLETS AND SURFACE WATERS UNLESS IT CAN BE SHOWN THAT NO OTHER ALTERNATIVES ARE REASONABLY 2. DUMPING OF PAINT OR OTHER LIQUID BUILDING MATERIAL WASTES IN STORM DRAINS IS PROHIBITED. 3. LITTER AND SANITARY WASTE-THE PERMITTEE SHALL CONTROL THE MANAGEMENT AND DISPOSAL OF LITTER AND SANITARY WASTE FROM THE SITE. 4. LOCATE EARTHEN-MATERIAL STOCK PILE AREAS AT LEAST 50' AWAY FROM STORM DRAIN INLETS AND SURFACE WATERS UNLESS IT CAN BE SHOWN THAT NO OTHER ALTERNATIVES ARE REASONABLY AVAILABLE. . CONCRETE MATERIALS ONSITE, INCLUDING EXCESS CONCRETE, MUST BE CONTROLLED AND MANAGED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS OR BUFFERS. NO CONCRETE OR CEMENT SLURRY SHALL BE DISCHARGED FROM THE SITE 6. ANY HARDENED CONCRETE RESIDUE WILL BE DISPOSED OF, OR RECYCLED ON SITE, IN ACCORDANCE WHITE LOCAL AND STATE SOLID WASTE REGULATIONS. 7. SOIL STABILIZATION SHALL BE ACHEIVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE EMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDOLL.

i. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY II. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH ROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTORBIN 8. CONDITIONS-IN MEETING THE STABILIZATION REQUIREMENTS ABOVE, THE FOLLOWING CONDITIONS OR EXEMPTIONS

EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE. II. ALL SLOPES 50' IN LENGTH OR GREATER SHALL APPLY TO GROUND COVER WITHIN 7 DAYS EXCEPT WHEN THE SLOPE IS FLATTER THAN 4:1. SLOPES LESS THAN 50' SHALL APPLY GROUND COVER WITHIN 14 DAYS EXCEPT WHEN SLOPES ARE STEEPER THAN 3:1, THE 7-DAY REQUIREMENT APPLIES. III. ANY SLOPED AREA FLATTER THAN 4:1 SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT. iv. SLOPES 10' OR LESS IN LENGTH SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT EXCEPT WHEN THE SLOPE IS STEEPER THAN 2:1. V. ALTHOUGH STABILIZATION IS USUALLY SPECIFIED AS GROUND COVER, OTHER METHODS, SUCH AS CHEMICAL

STABILIZATION, MAY BE ALLOWED ON A CASE—BY—CASE BASIS. VI. FOR PORTIONS OF PROJECTS WITHIN THE SEDIMENT CONTROL COMMISSION-DEFINED "HIGH QUALITY WATER ZONE" (15A NCAC 04A, 0105), STABILIZATION WITH GROUND COVER SHALL BE ACHIEVED AS SOON AS PRACTICABLE BUT IN ANY EVENT ON ALL AREAS OF THE SITE WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACT.

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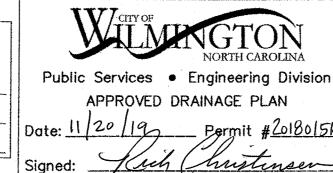
YH CARO SESSION 1 SEAL 17374 · MOINEER. CREGOR)

10-08-19 PGT DRAWN EJW

SHEET 4 OF 6

For each open utility cut City streets, a \$325 shall be required from the and/or project

Approved Construction Plan City prior to occupancy | Traffic | THUHO



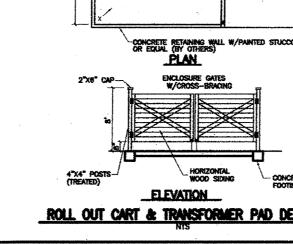
TRANSVERSE EXPANSION JOINT

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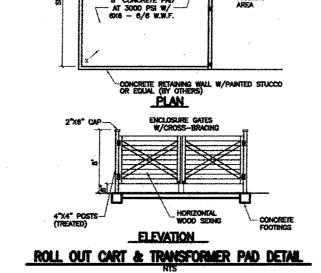
IN CURB AND GUTTE

8" X 6" MEDIAN CURB VALLEY GUTTER

APPLICANT: PBW DEVELOPMENT, LLC DAVID SPETRINO 314 WALNUT STREET WILMINGTON NC 28401 PHONE # (910) 443-0746 SPETRINO@PLANTATIONBUILDINGCORP.COM



4"X4" POSTS~



#### SELF-INSPECTION, RECORDKEEPING AND REPORTING **SECTION A: SELF-INSPECTION** Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record. inspect Inspection records must include [40 CFR 122.41]: normal business (1) Rain Daily rainfall amounts. If no daily rain gauge observations are made during gauge weekend or holiday periods, and no individual-day rainfall maintained in good working information is available, record the cumulative rain measurement for those un-attended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division. (2) E&SC At least once Identification of the measures inspected, Measures per 7 calendar . Date and time of the inspection. days and within Name of the person performing the inspection 24 hours of a Indication of whether the measures were operating rain event > 1.0 . Description of maintenance needs for the measure, inch in 24 i. Corrective actions taken, and Date of actions taken.

per 7 calendar

24 hours of a

inch in 24

per 7 calendar

24 hours of a

inch in 24

inch in 24

days and within

(4) Perimeter At least once

offsite (where 24 hours of a

days and within

rain event > 1.0

discharge

outfalls

(SDOs)

of site

accessible)

identification of the discharge outfalls inspected

Evidence of indicators of stormwater pollution such as

oil sheen, floating or suspended solids or discoloration.

. Actions taken to correct/prevent sedimentation, and

f visible sedimentation is found outside site limits, then a

. Actions taken to clean up or stabilize the sediment that

. An explanation as to the actions taken to control futur

edimentation or a stream has visible increased turbidity

. Records of the required reports to the appropriate

Division Regional Office per Part III, Section C, Item

3. Name of the person performing the inspection.

. Indication of visible sediment leaving the site,

Date and time of the inspection,

record of the following shall be made:

If the stream or wetland has increased visible

(2)(a) of this permit of this permit.

Date of actions taken.

has left the site limits.

days and within from the construction activity, then a record of the

rain event > 1.0 | 1. Evidence and actions taken to reduce sediment

following shall be made:

contributions, and

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

rain event > 1.0 | 2. Date of actions taken, and

. Additional Documentation

upon request. [40 CFR 122.41]

**SECTION B: RECORDKEEPING** 

. E&SC Plan Documentation

Item to Document

locations, dimensions and relative

(b) A phase of grading has been

(c) Ground cover is located and

installed in accordance with the

(d) The maintenance and repair

(e) Corrective actions have been

requirements for all E&SC Measures

approved E&SC Plan.

have been performed.

taken to E&SC Measures.

elevations shown on the approved E&SC

In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical: (a) This general permit as well as the certificate of coverage, after it is received.

corrective action.

SELF-INSPECTION, RECORDKEEPING AND REPORTING

The approved E&SC plan as well as any approved deviation shall be kept on the site. The

The following items pertaining to the E&SC plan shall be documented in the manner

approved E&SC plan must be kept up-to-date throughout the coverage under this permit.

(a) Each E&SC Measure has been installed | Initial and date each E&SC Measure on a copy

and does not significantly deviate from the of the approved E&SC Plan or complete, date

**Documentation Requirements** 

and sign an inspection report that lists each

E&SC Measure shown on the approved E&SC

Plan. This documentation is required upon

the initial installation of the E&SC Measures or

if the E&SC Measures are modified after initial

Initial and date a copy of the approved E&SC

Initial and date a copy of the approved E&SC

Plan or complete, date and sign an inspection

report to indicate compliance with approved

Complete, date and sign an inspection report.

Initial and date a copy of the approved E&SC

report to indicate the completion of the

Plan or complete, date and sign an inspection

report to indicate completion of the

construction phase.

ground cover specifications.

Plan or complete, date and sign an inspection

the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

(b) Records of inspections made during the previous 30 days. The permittee shall record

All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available

SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that must be reported Permittees shall report the following occurrences: (a) Visible sediment deposition in a stream or wetland.

(b) Oil spills if:

 They are 25 gallons or more, They are less than 25 gallons but cannot be cleaned up within 24 hours,

(a) Releases of hazardous substances in excess of reportable quantities under Section 311 of

the Clean Water Act (Ref. 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA

 They cause sheen on surface waters (regardless of volume), or • They are within 100 feet of surface waters (regardless of volume).

(Ref. 40 CFR 302.4) or G.S. 143-215.85.

(b) Anticipated bypasses and unanticipated bypasses.

(c) Noncompliance with the conditions of this permit that may endanger health or the

. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence (a) Visible sediment deposition in a stream or wetland Reporting Timeframes (After Discovery) and Other Requirements Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a If the stream is named on the NC 303(d) list as impaired for sedimentrelated causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff

determine that additional requirements are needed to assure

compliance with the federal or state impaired-waters conditions. (b) Oil spills and Within 24 hours, an oral or electronic notification. The release of hazardous substances per Item 1(b)-(c) (c) Anticipated

notification shall include information about the date, time, nature, volume and location of the spill or release. A report at least ten days before the date of the bypass, if bypasses 140 CFR possible. The report shall include an evaluation of the anticipated

122.41(m)(3)] quality and effect of the bypass. (d) Unanticipated • Within 24 hours, an oral or electronic notification. bypasses 140 CFR Within 7 calendar days, a report that includes an evaluation of

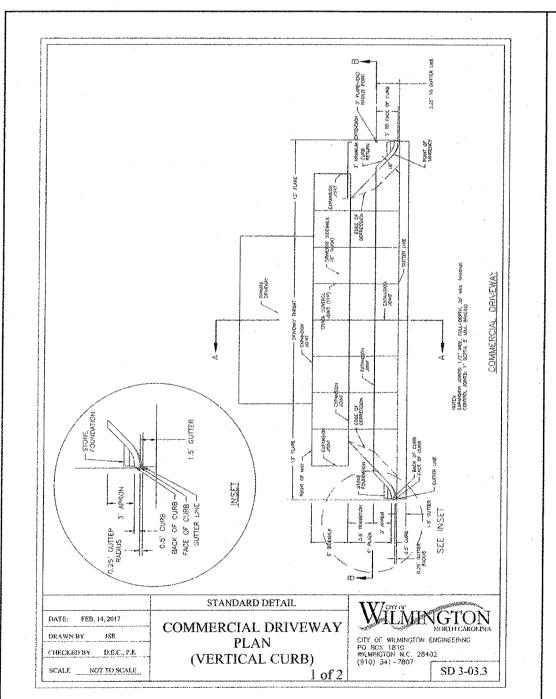
[122.41(m)(3)] the quality and effect of the bypass. (e) Noncompliance . Within 24 hours, an oral or electronic notification. with the Within 7 calendar days, a report that contains a description of the conditions of this permit that may

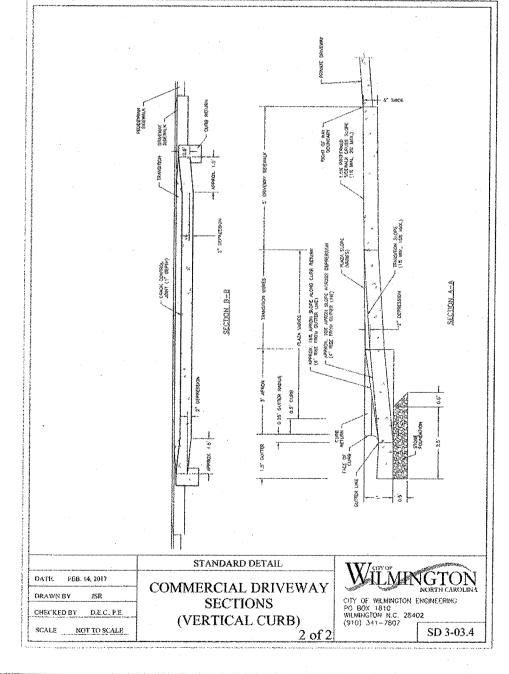
noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not endanger health or been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(I)(6). CFR 122.41(I)(7)] Division staff may waive the requirement for a written report on a case-by-case basis.

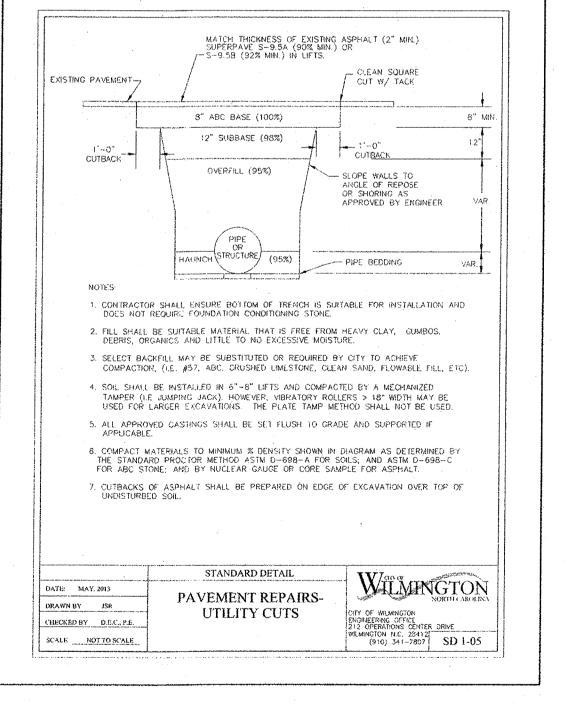
MAN NORTH CAROLINA ್ರೆಫ್ Environmental Quality

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 03/01/19



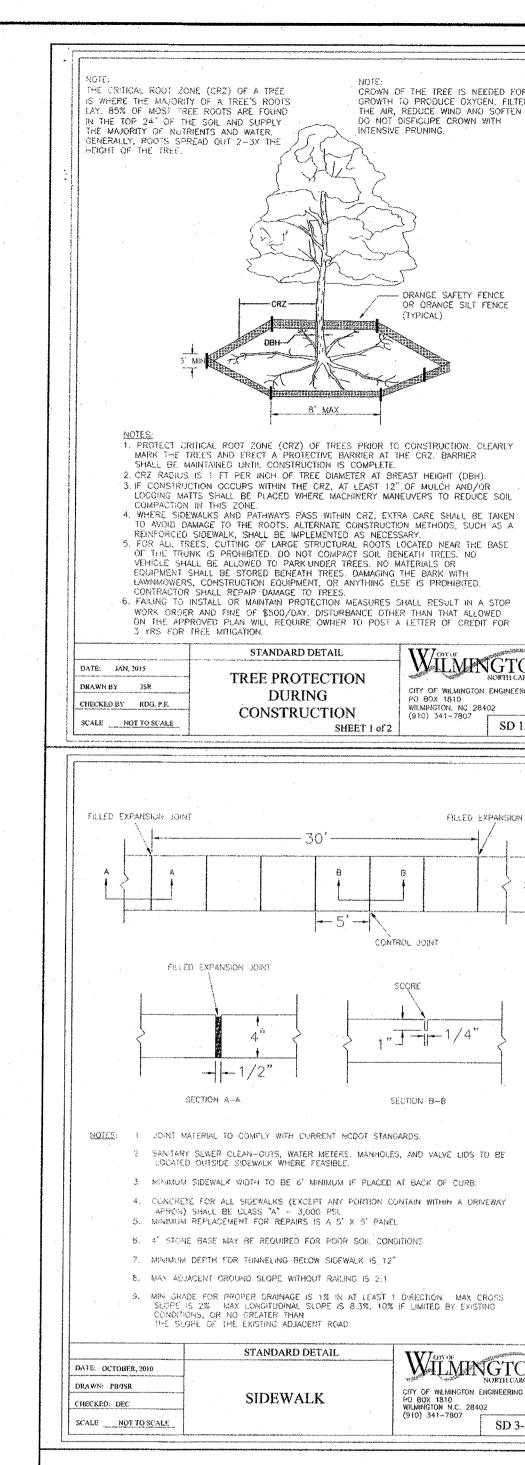


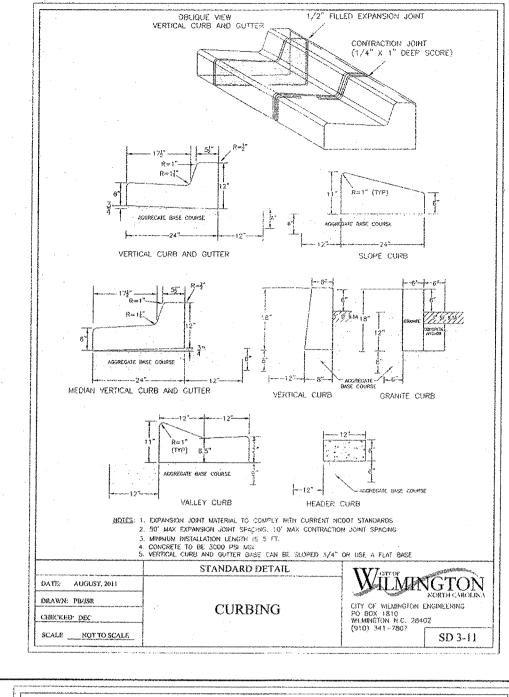


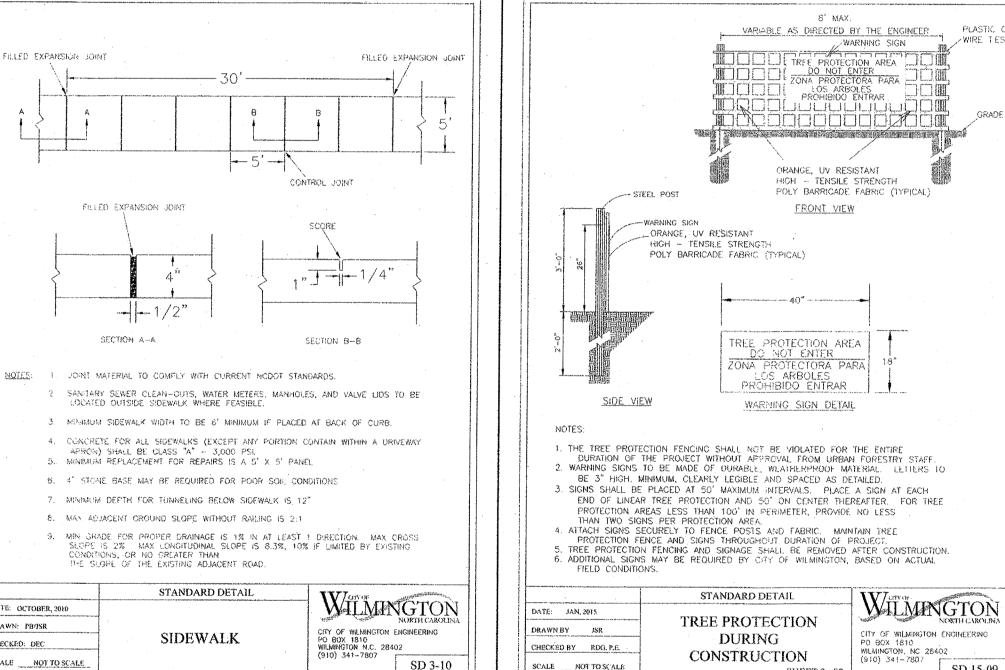
For each open utility cut Approved Construction Plan City streets, a \$325 shall be required from the City prior to occupancy and/or project

Public Services • Engineering Division PPROVED DRAINAGE PLAN fun mulmon

APPLICANT: PBW DEVELOPMENT, LLC DAVID SPETRINO 314 WALNUT STREET WILMINGTON NC 28401 PHONE # (910) 443-0746 SPETRINO@PLANTATIONBUILDINGCORP.COM







GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE.

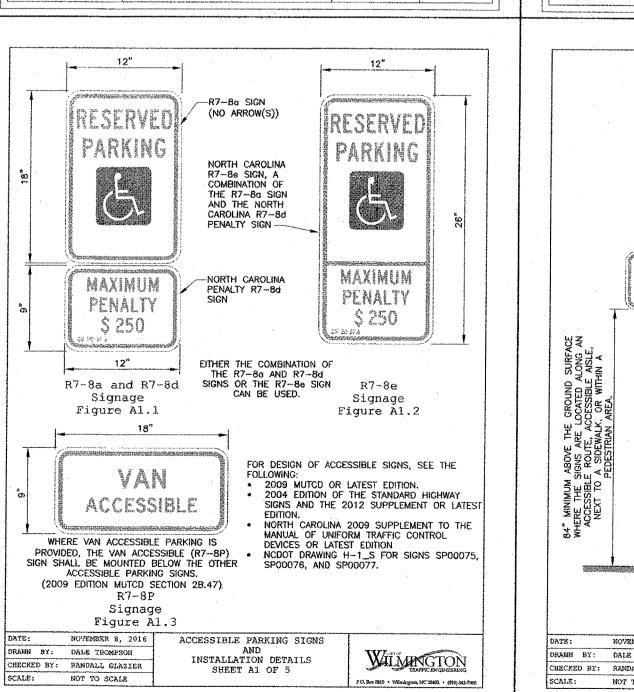
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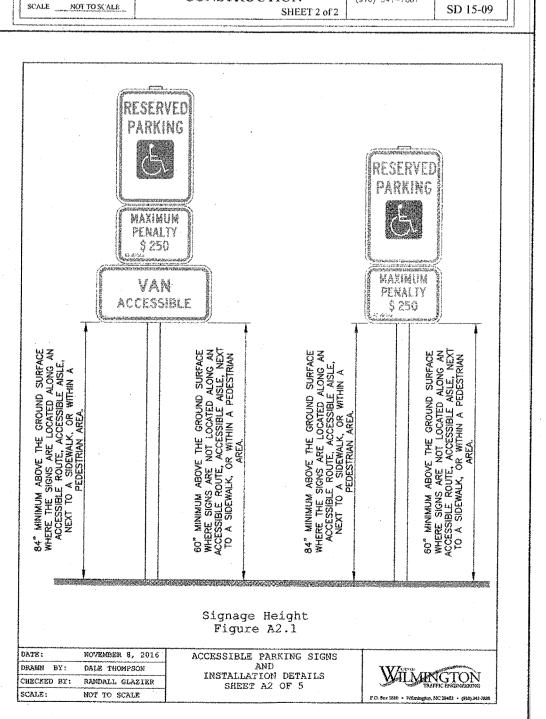
CITY OF WILMINGTON ENGINEERING

SHEET 1 of 2

SD 15-09

DO NOT DISFIGURE CROWN WITH







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REVISIONS

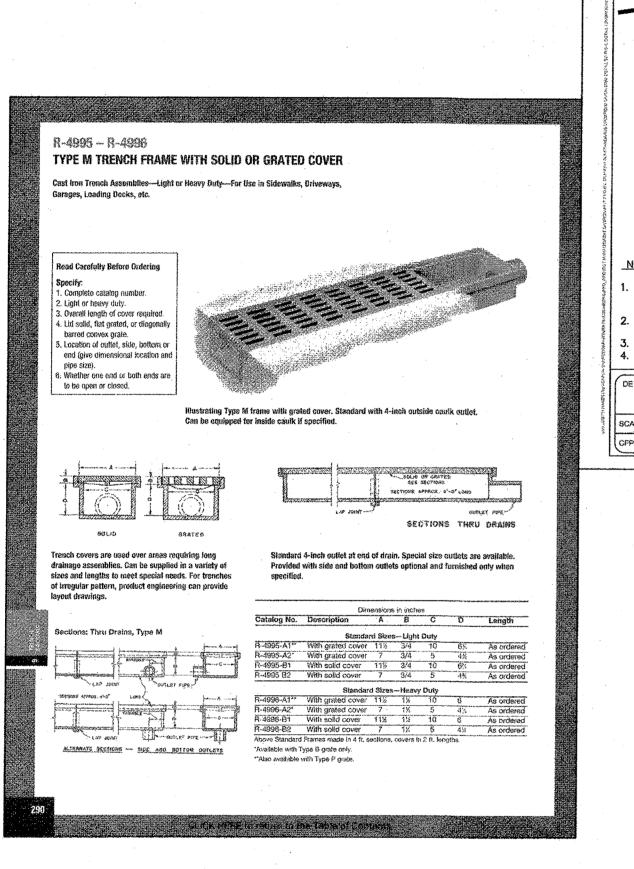
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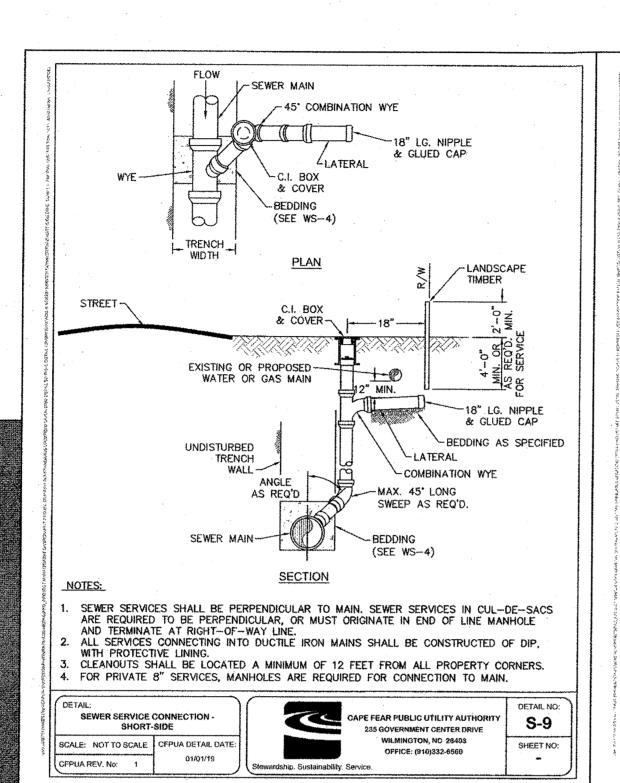
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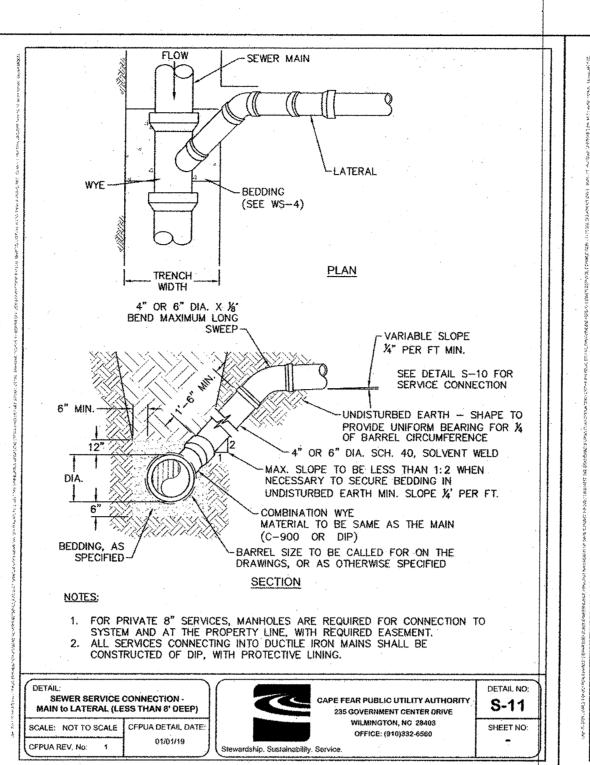
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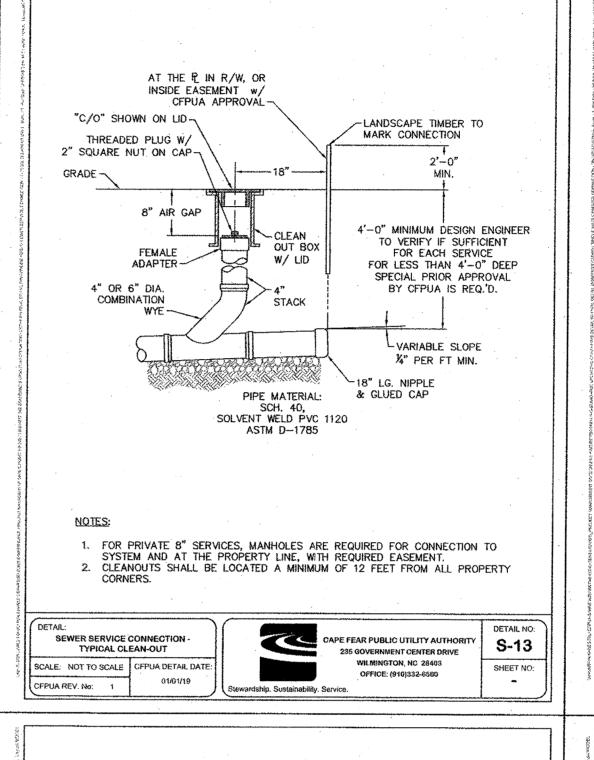
17374 GREGOR 10-08-19 DESIGN PGT DRAWN EJW

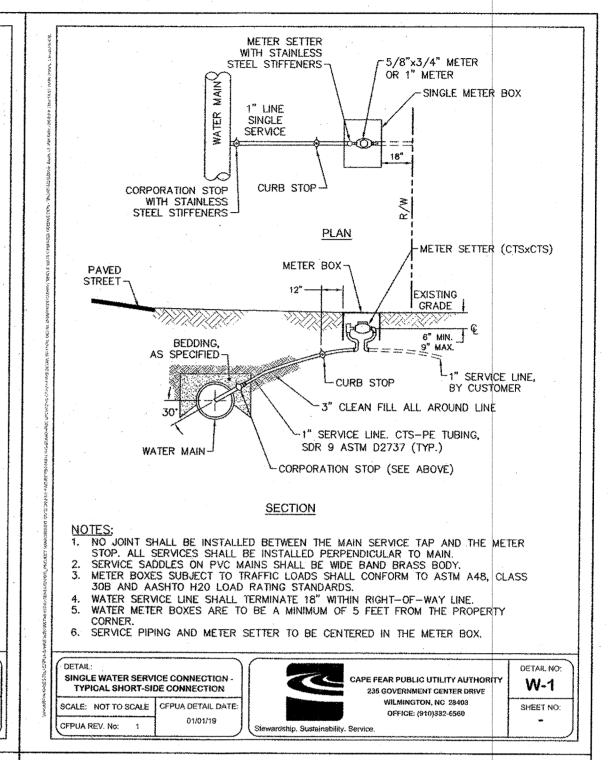
SHEET 5 OF 6

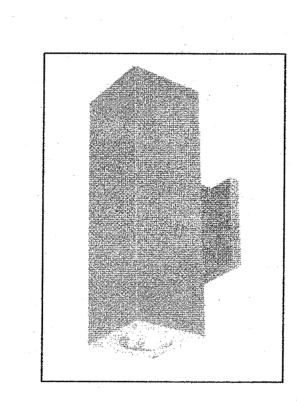




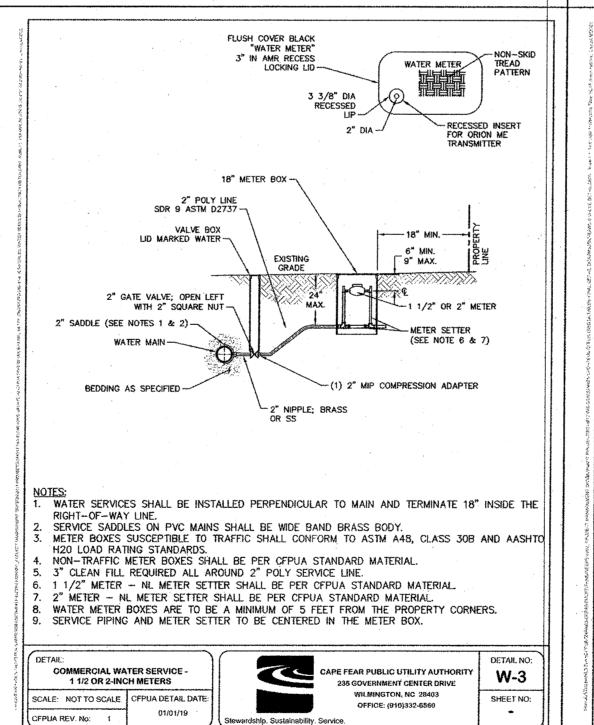


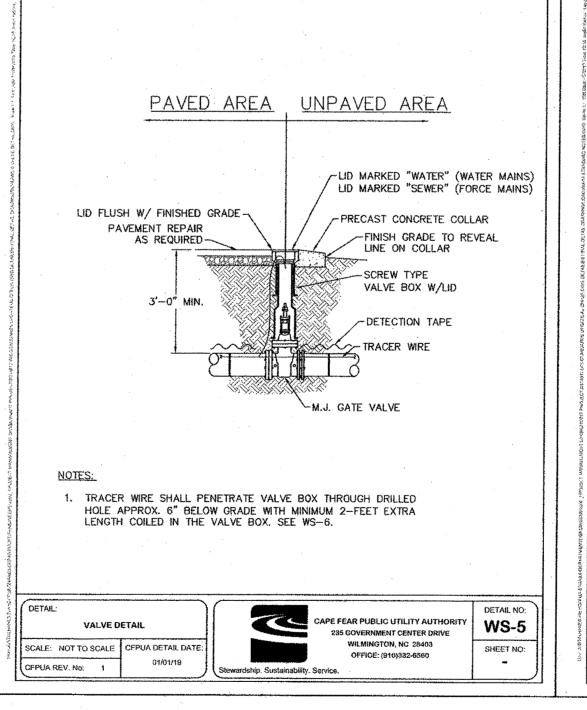


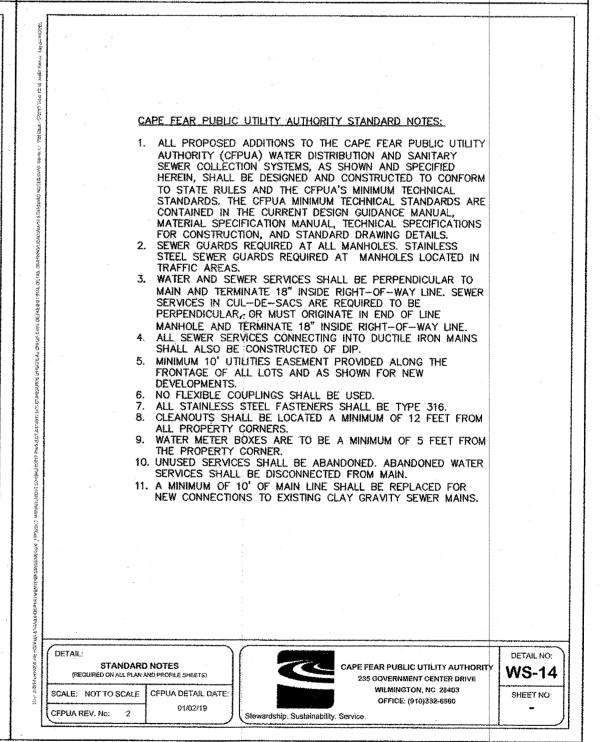




PROPOSED EXTERIOR LIGHTING

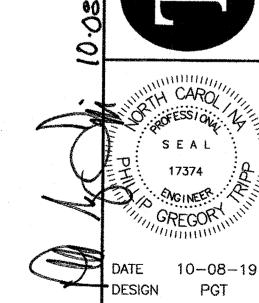






DRAINAGE PLAN FORMANIA WARRENT FOR APPROVED CITY OF WILMINGTON ENGINEERING DEPARTMENT

Approved Const. Plan James Menutt 11.19.19



DRAWN EJW

**REVISIONS** 

Date Description COW COMMENTS

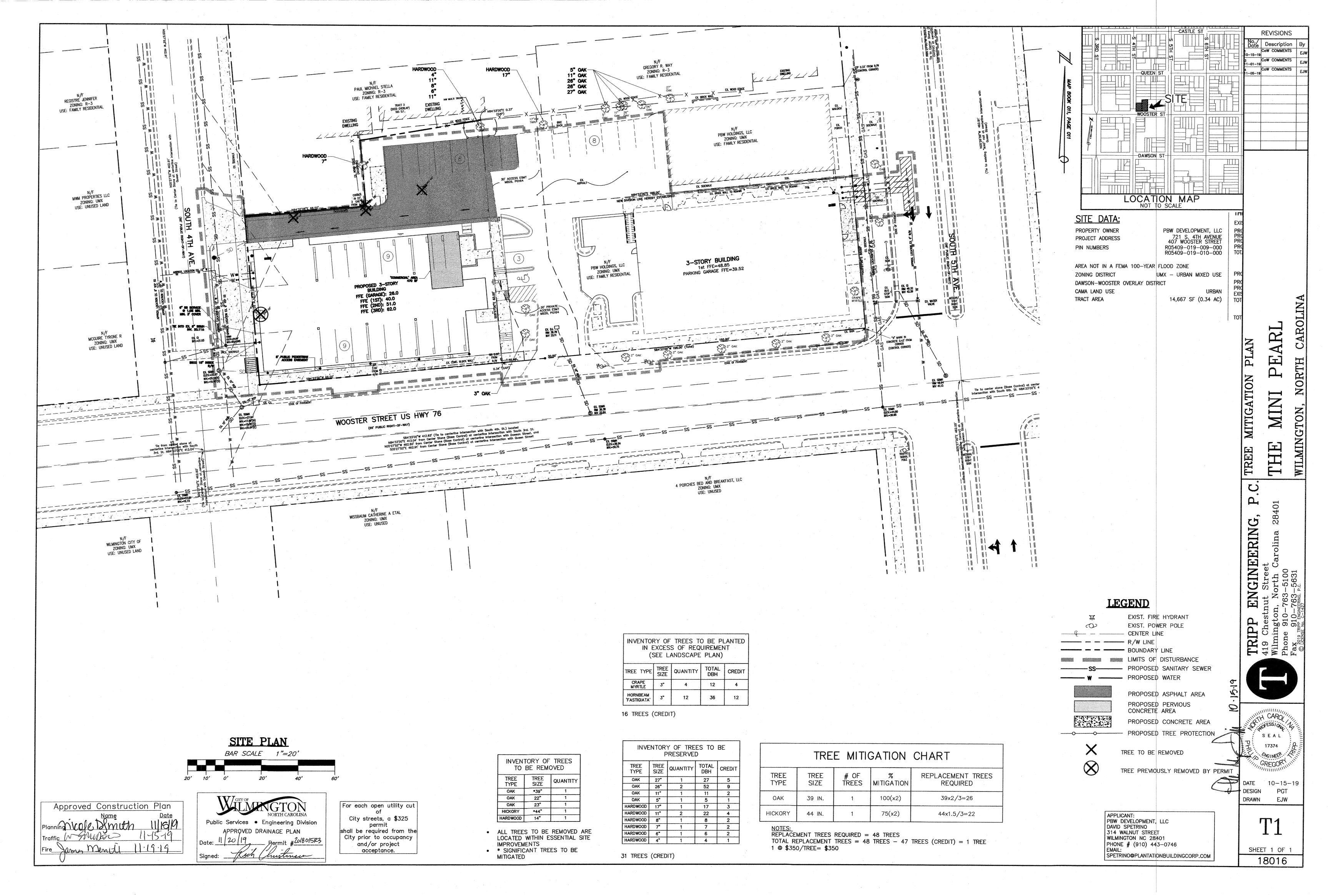
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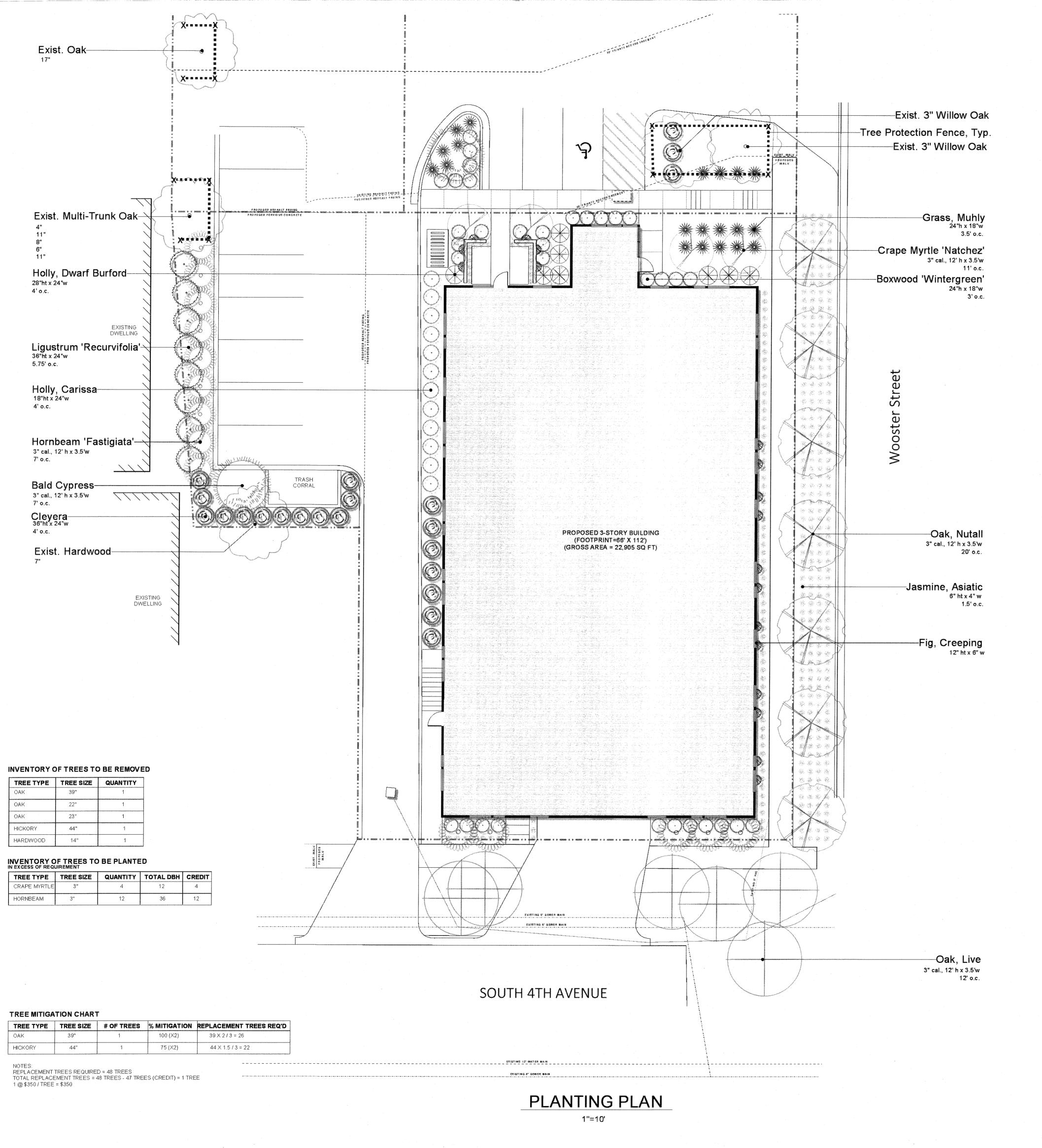
TRIPP ENGINEERING
419 Chestnut Street
Wilmington, North Carolina 2
Phone 910-763-5100
Fax 910-763-5631
© LIGENSE NO. E-1455FING. P.C.

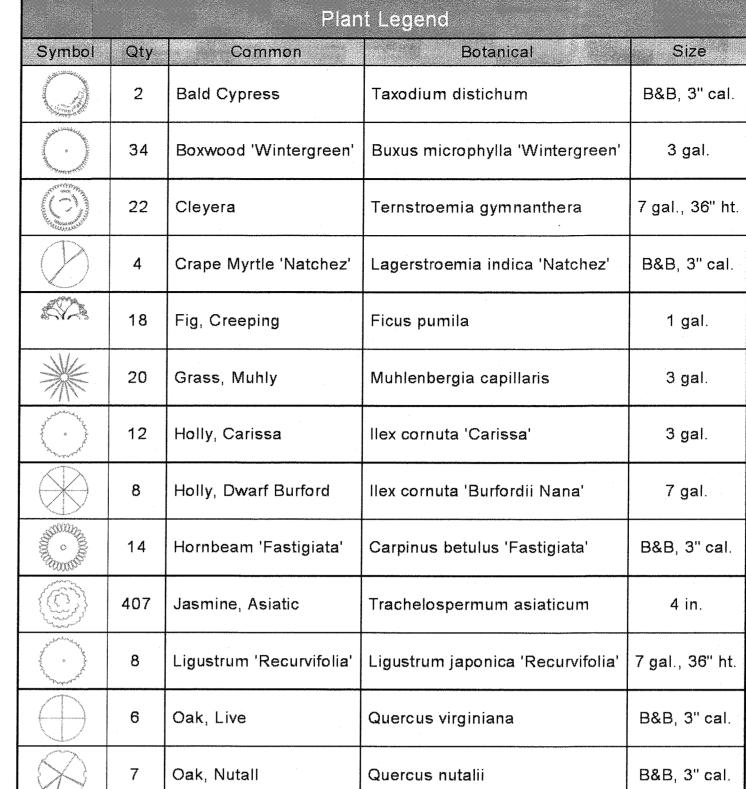
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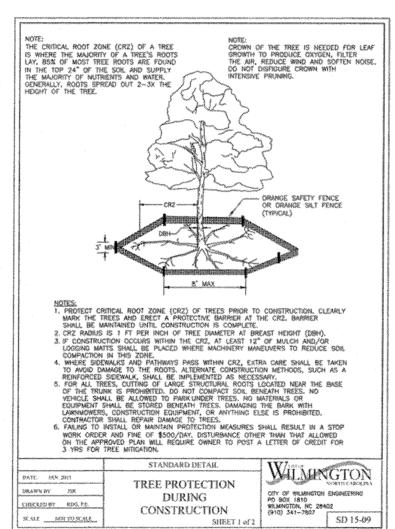
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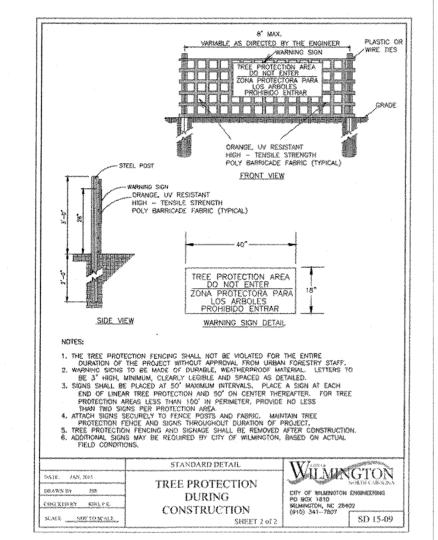
SHEET 6 OF 6 18016













CHECKED BY RDG, FE.

Approved Construction Plan
<u>Name</u> <u>Date</u>
Planning vole Dlmith 11/5/19
Traffic W 44MD6 11-15-19
Fire James Men de 11.19.19

Public Services • Engineering Division APPROVED DRAINAGE PLAN

Site Data: Project Name: The Mini Pearl Proposed Land Use: Residential Project Owner: PBW Development, LLC Mailing Address: 314 Walnut Street; Wilmington, NC 28401

CONSTRUCTION

Prior to any clearing, grading, or construction activity, tree protection fencing will be installed around protected trees or groves of trees. No construction worker, tools, materials, or vehicles are permitted within the tree protection fencing.

All landscape beds in parking areas to be at least 216 square feet.

STREET TREE TABLE

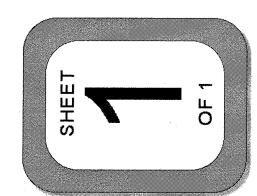
STREET	NUMBER OF TREES REQUIRED	NUMBER OF TREES PROVIDED	
S. 4th AVENUE	92/30 = 3.07	6	
WOOSTER STREET	132/30 = 4.4	7	

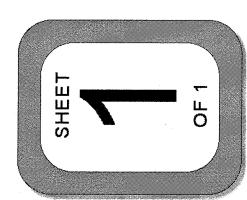
FOUNDATION PLANTINGS TABLE		
BLDG. FACE	PLANTING AREA REQUIRED	PLANTING AREA PROVIDED
NORTH	34' X: 112' X 12% = 456.96 SF	545.2 SF
EAST	34' X 66' X 12% = 269.28 SF	626.1 SF
SOUTH	N/A	
WEST	N∕A	

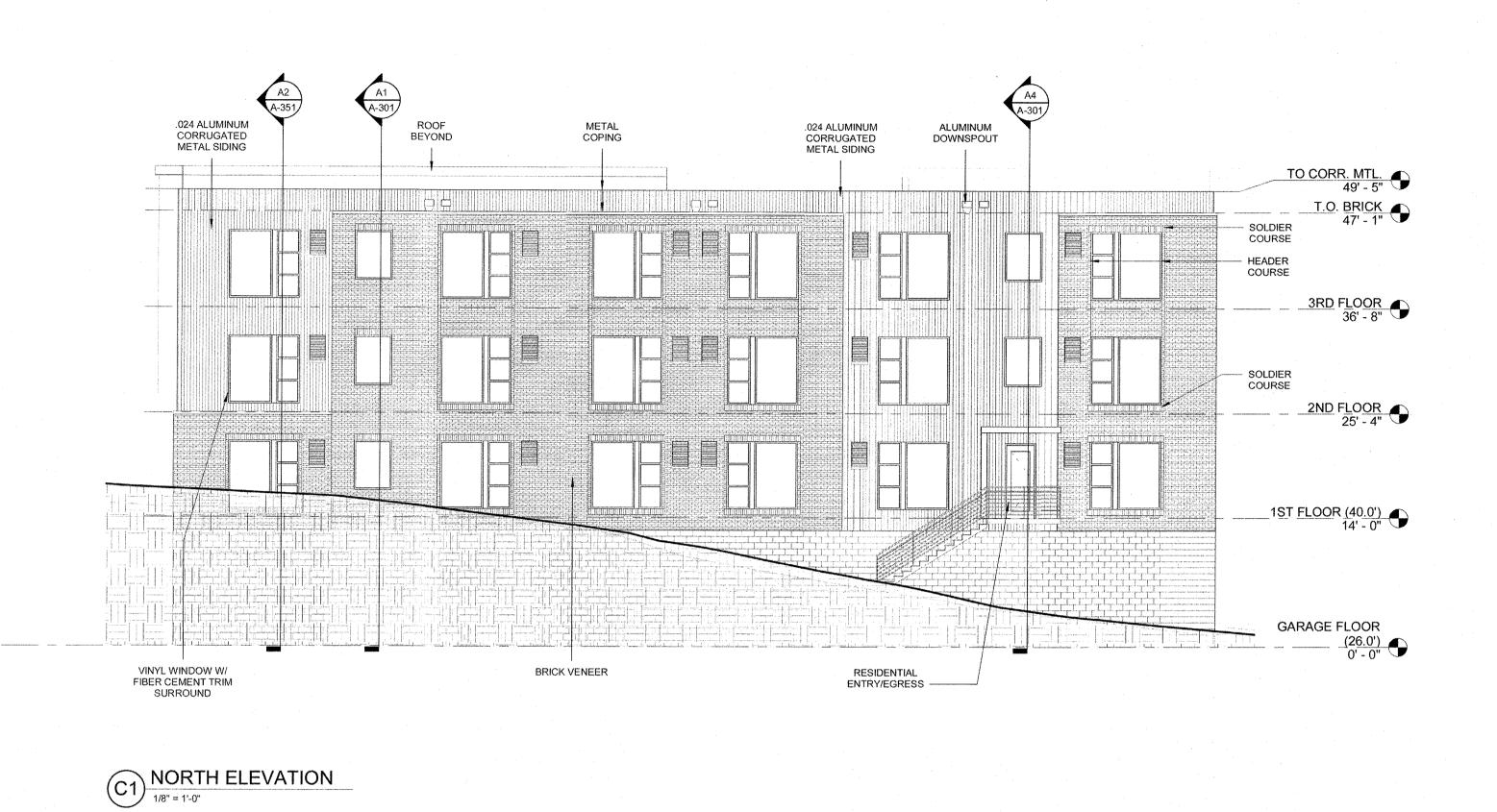
PERIMETER TREE TABLE			
AREA	NUMBER OF TREES REQUIRED	NUMBER OF TREES PROVIDED	
NORTH PROP. LINE	541/27' = 2	9	

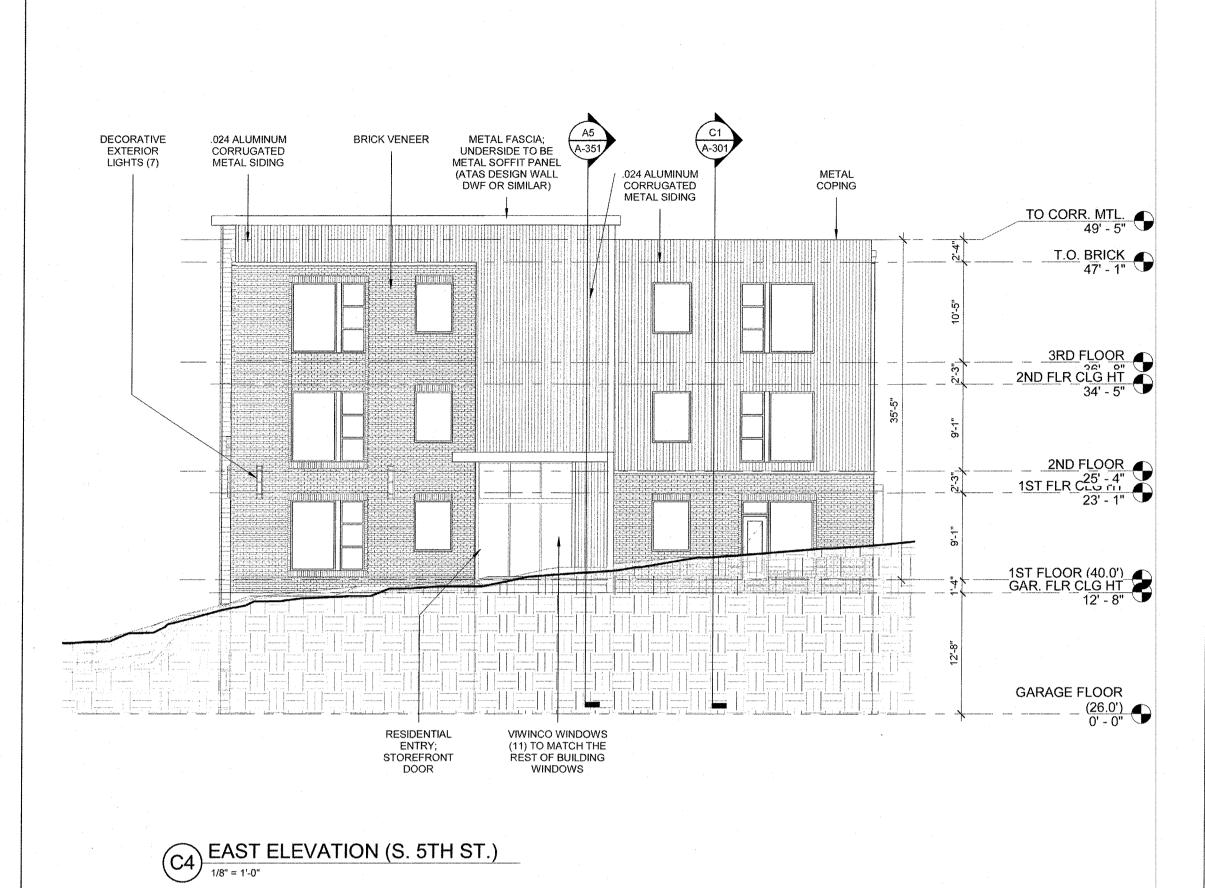


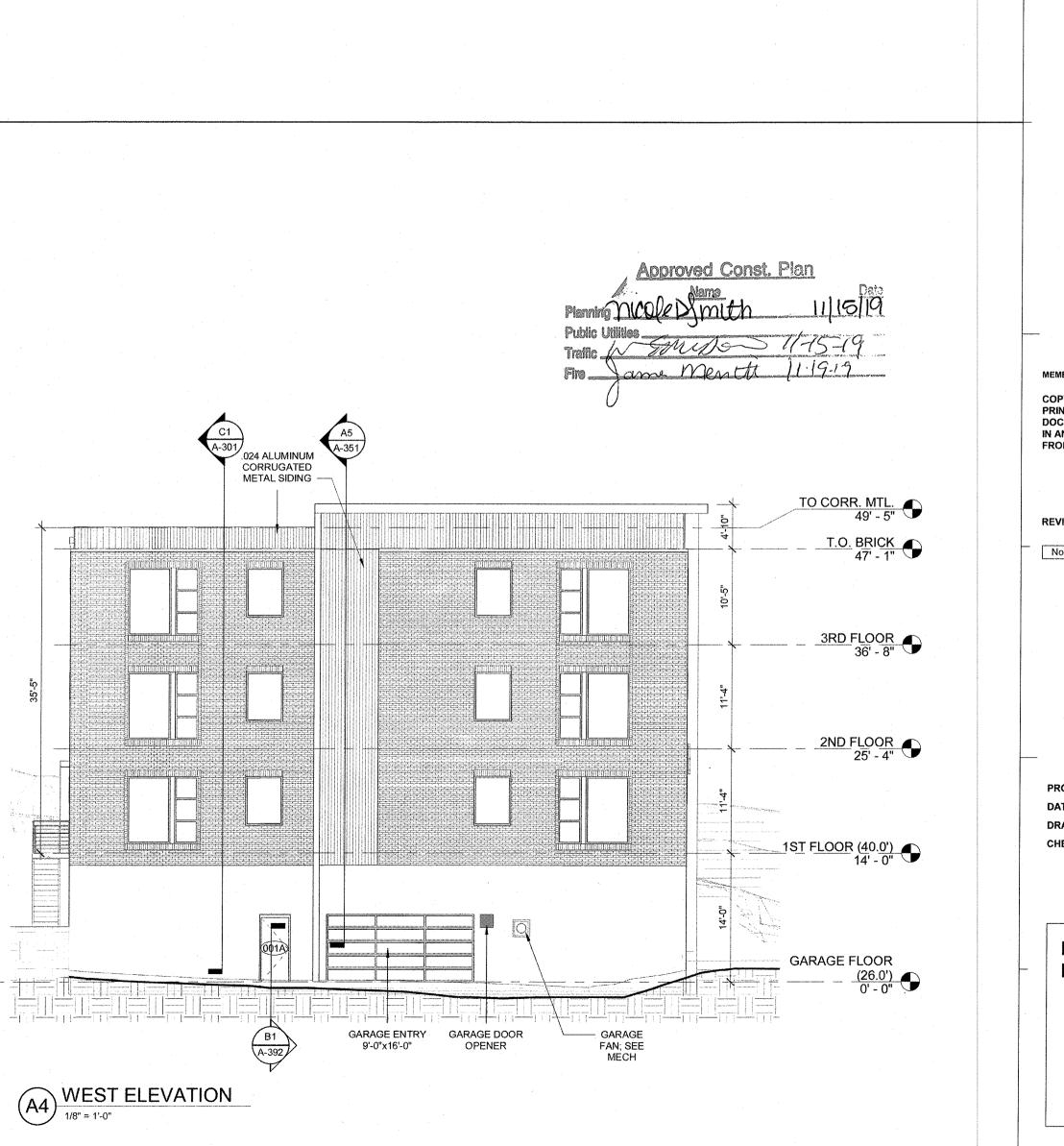
For each open utility cut City streets, a \$325 shall be required from the City prior to occupancy and/or project acceptance.

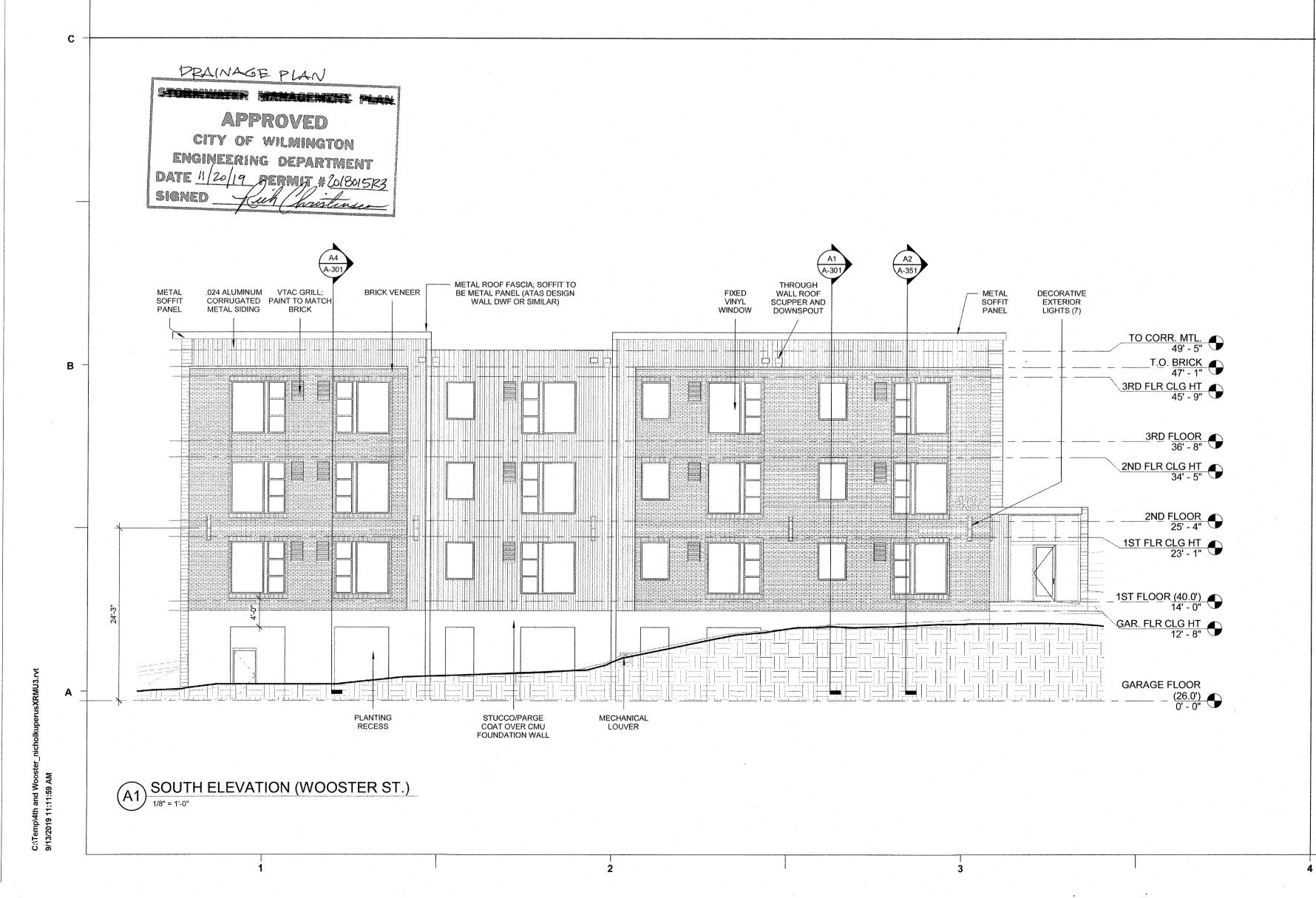






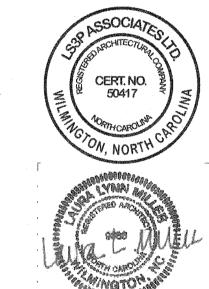






Plantation Building Corp PBC DESIGN THE MINI PEARL **APARTMENT** BUILDING

101 NORTH THIRD STREET SUITE 500 WILMINGTON, NORTH CAROLINA 28401 TEL. 910.790.9901 FAX 910.790.3111 WWW.LS3P.COM



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REVISIONS:

No. Description Date

PROJECT: 7512-190360 SEPTEMBER 9, 2019 DRAWN BY: NK CHECKED BY: LM

**EXTERIOR ELEVATIONS** 

A-201

**Construction Documents**