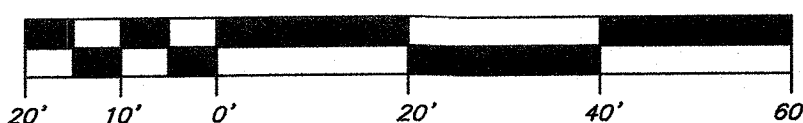


SITE PLAN

BAR SCALE 1"=20'



Approved Construction Plan	
Name	Date
Nicole D Smith	11/15/19
Planning	11-15-19
Traffic	11-15-19
Fire	11-19-19

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 11/20/19 Permit #201801523
Signed: Rich Christensen

For each open utility cut of
Public streets, a \$325
permit
shall be required from the
City prior to occupancy
and/or project
acceptance.

INVENTORY OF TREES TO BE REMOVED		
TREE TYPE	TREE SIZE	QUANTITY
OAK	*36"	1
OAK	26"	1
OAK	22"	1
OAK	23"	1
HICKORY	*44"	1
HARDWOOD	14"	1

- ALL TREES TO BE REMOVED ARE LOCATED WITHIN ESSENTIAL SITE IMPROVEMENTS
- * SIGNIFICANT TREES TO BE MITIGATED

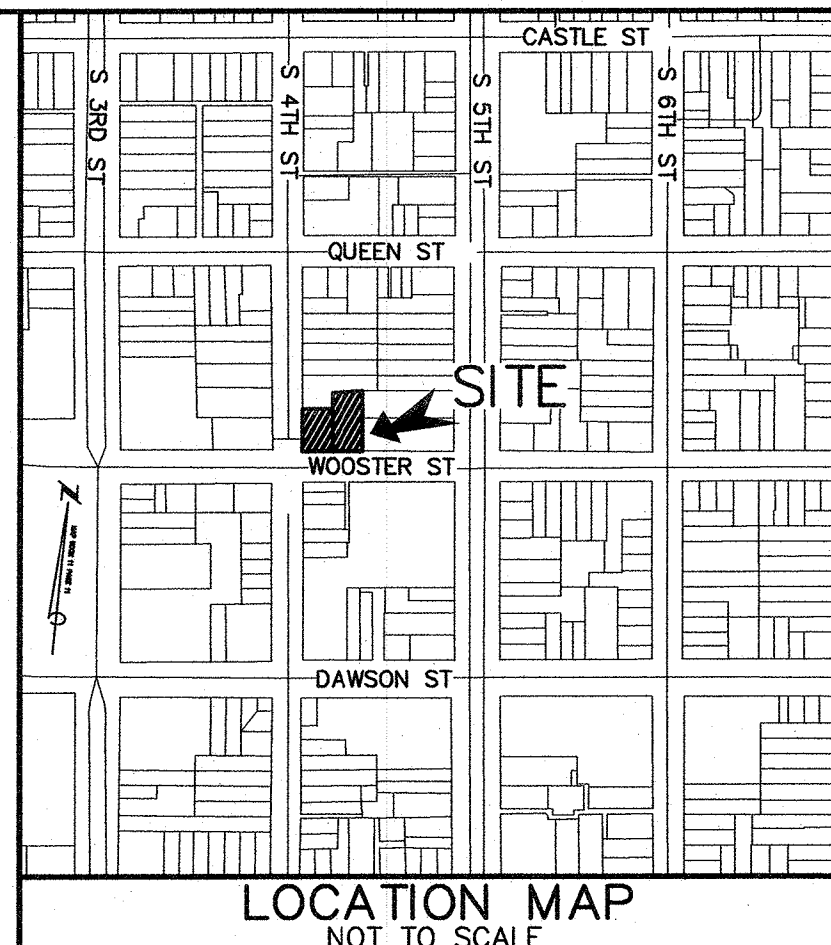
INVENTORY OF TREES TO BE PRESERVED				
TREE TYPE	TREE SIZE	QUANTITY	TOTAL DBH	CREDIT
OAK	27"	1	27	5
OAK	26"	2	52	9
OAK	11"	1	11	2
OAK	5"	1	5	1
HARDWOOD	17"	1	17	3
HARDWOOD	11"	2	22	4
HARDWOOD	8"	1	8	2
HARDWOOD	7"	1	7	2
HARDWOOD	6"	1	6	2
HARDWOOD	4"	1	4	1

- ## LEGEND
- EXISTING IRON
 - SET IRON
 - CONC. MONUMENT
 - EXIST. FIRE HYDRANT
 - EXIST. POWER POLE
 - CENTER LINE
 - R/W LINE
 - ADJACENT PROPERTY LINE
 - SUBJECT TRACT BOUNDARY LINE
 - LIMITS OF DISTURBANCE
 - EXIST. GAS LINE
 - EXIST. SANITARY SEWER LINE
 - EXIST. STORM DRAINAGE LINE
 - EXIST. WATER LINE
 - EXIST. WOOD FENCE LINE
 - EXIST. CHAIN LINK FENCE LINE
 - TREE TO BE REMOVED
 - TREE PREVIOUSLY REMOVED BY PERMIT
 - DEMO

RECEIVED
NOV 15 2019
PLANNING DIVISION

APPLICANT:
PBW DEVELOPMENT, LLC
DAVID SPETRINO
314 WALNUT STREET
WILMINGTON NC 28401
PHONE # (910) 443-0746
EMAIL: SPETRINO@PLANTATIONBUILDINGCORP.COM

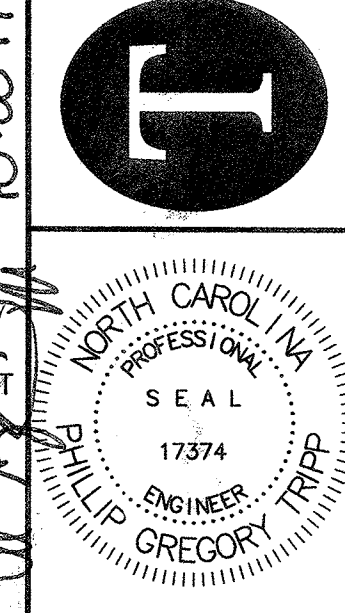
REVISIONS		
No.	Description	By
10-15-19	ADD COMMENTS	EJW
10-31-19	ADDED L.O.D.	EJW
11-13-19	ADDED TREE CHARTS	EJW



- ## SITE INVENTORY NOTES:
- PREPARED BY: TRIPP ENGINEERING, P.C.
 - APPLICANT NAME: PBW DEVELOPMENT, LLC
 - SITE ADDRESS OF THE DEVELOPMENT: 721 S. 4TH AVE.
 - PROPERTY OWNER: PBW DEVELOPMENT, LLC
 - DEVELOPER: PBW DEVELOPMENT, LLC
 - PROPERTY BOUNDARY: SEE PLAN
TAX PARCEL INFORMATION: R05409-019-009-000
R05409-019-010-000
 - PROPERTY ZONING: UMX - URBAN MIXED USE DISTRICT
 - ADJACENT PROPERTY OWNER INFORMATION: SEE PLAN
 - VICINITY MAP: SEE PLAN
 - TOPOGRAPHY: SEE PLAN
 - 100-YEAR FLOOD BOUNDARY: N/A
 - EXISTING DITCHES, CREEKS AND STREAMS: N/A
 - SOIL: Bh - BAYMEADE-URBAN LAND COMPLEX
 - CAMA AEC: N/A
 - CAMA LAND CLASSIFICATION: URBAN
 - CONSERVATION RESOURCES: NONE
ASSOCIATED SETBACKS: N/A
 - HISTORIC OR ARCHAEOLOGICAL SITE: N/A
 - CEMETERIES, BURIAL SITES/GROUNDS: N/A
 - FORESTED AREAS, HABITAT AND DOMINANT SPECIES: N/A
 - WETLANDS: NONE
 - PROTECTED SPECIES OR HABITAT: N/A
 - EXISTING OR PROPOSED THOROUGHFARES, BIKE ROUTES, PEDESTRIAN SIDEWALKS OR TRAILS AND TRANSIT FACILITIES: SEE SITE PLAN
 - EXISTING TREES AS SHOWN ON PLAN
 - LIMITS OF DISTURBANCE: 0.95 Ac.

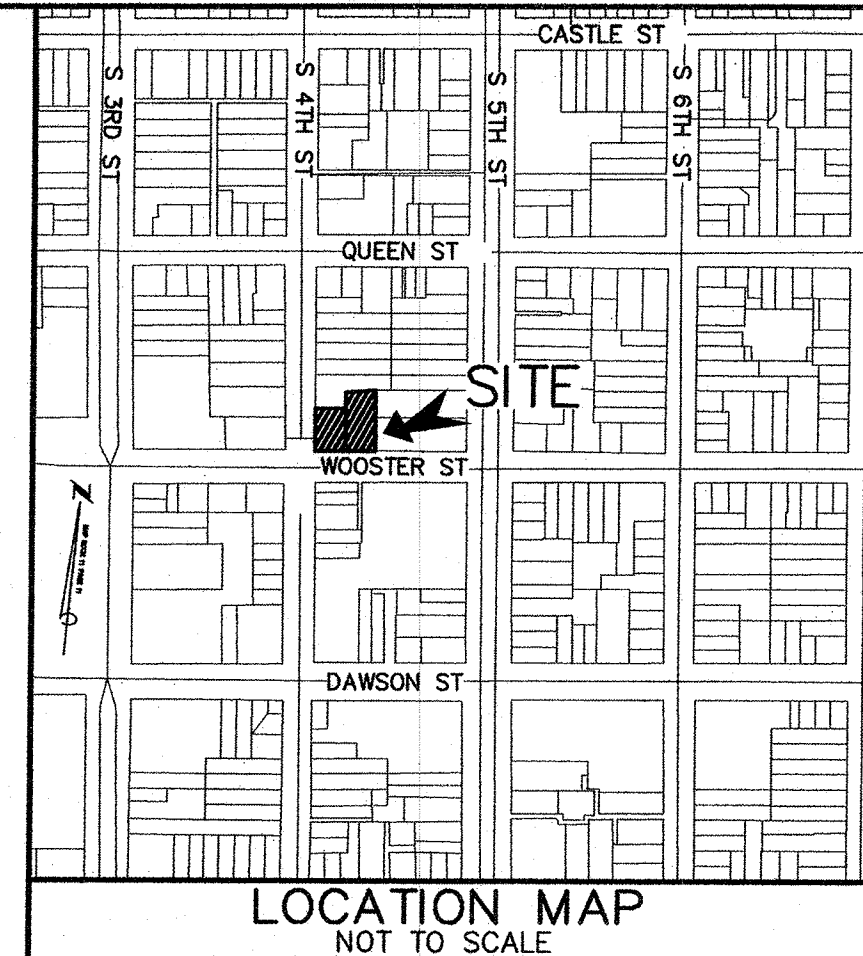
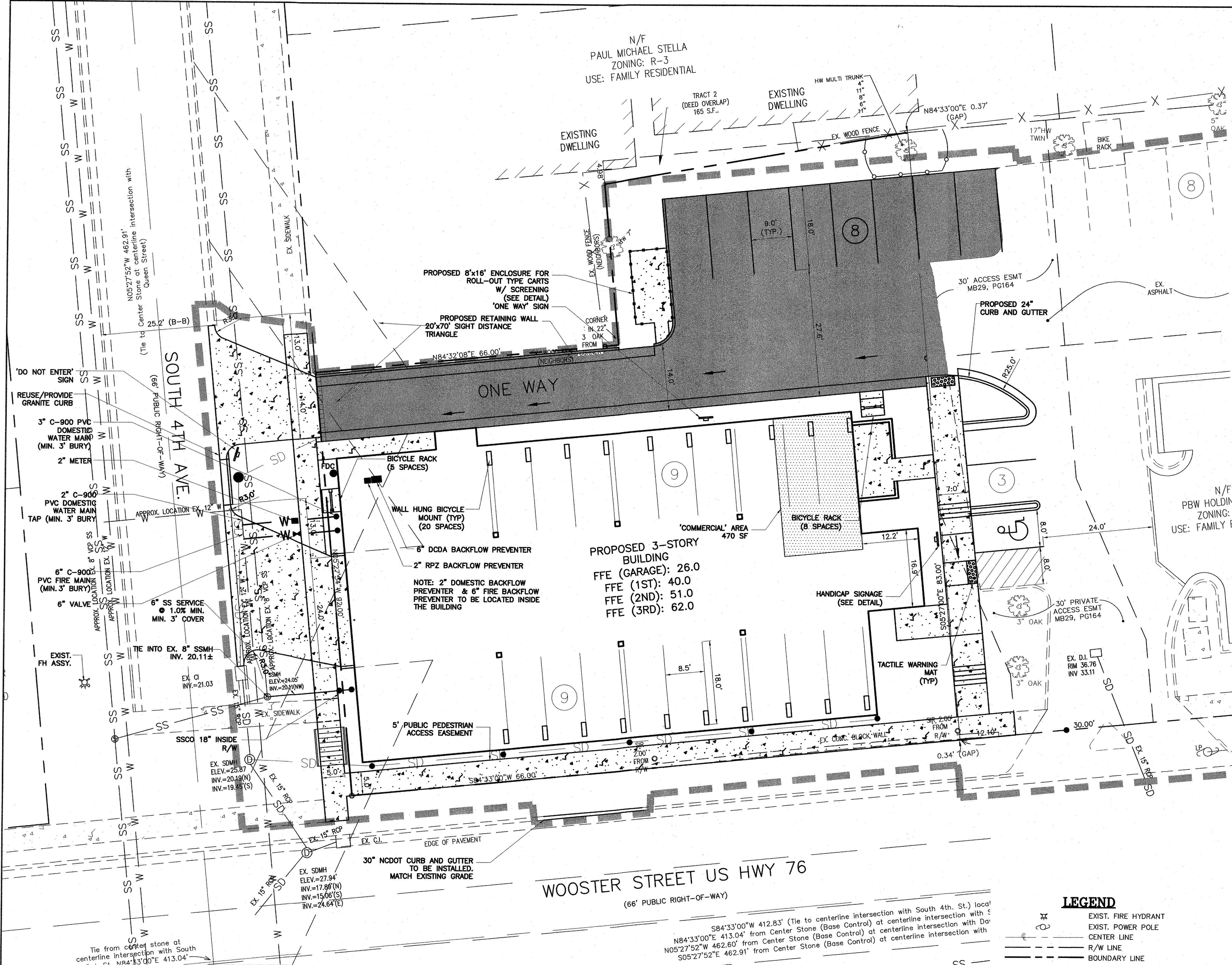
EXISTING CONDITIONS, SITE INVENTORY MAP,
AND DEMOLITION PLAN
THE MINI PEARL
WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-5100
Fax 910-763-5631
© 1989 TRIPP ENGINEERING, P.C.
LICENSE NO. 2-1427



DATE 10-08-19
DESIGN PGT
DRAWN EJW

C1
SHEET 1 OF 6
18016



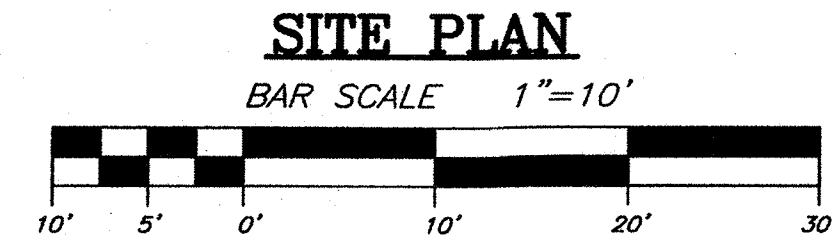
REVISIONS		
NO.	DESCRIPTION	BY
10-18-19	CDW COMMENTS	EJW
11-01-19	CDW COMMENTS	EJW
11-05-19	CDW COMMENTS	EJW

SITE DATA:	
PROPERTY OWNER	PBW DEVELOPMENT, LLC
PROJECT ADDRESS	721 S. 4TH AVENUE
PIN NUMBERS	407 WOOSTER STREET R05409-019-009-000 R05409-019-010-000
AREA NOT IN A FEMA 100-YEAR FLOOD ZONE	
ZONING DISTRICT	UMX - URBAN MIXED USE
DAWSON-WOOSTER OVERLAY DISTRICT	
CAMA LAND USE	URBAN
TRACT AREA	14,667 SF (0.34 AC)
DISTURBED AREA	0.95 AC.
SETBACKS REQUIRED	FRONT: 0' REAR: 0' SIDE: 0' CORNER SIDE: 5'
PROPOSED BUILDING SETBACKS	FRONT: 5' REAR: 5' SIDE: 8' INTERIOR SIDE: 5' CORNER SIDE: 7'
BUILDING USE	RESIDENTIAL/COMMERCIAL
BUILDING TYPE	V-A
PROPOSED BUILDING AREA (GROSS)	22,905 SF
BUILDING LOT COVERAGE (7,635/14,667)	52%
NUMBER OF UNITS	33
(1 BEDROOM; 23 UNITS 2 BEDROOM; 9 UNITS)	
(1 COMMERCIAL UNIT)	
NUMBER OF PROPOSED BUILDINGS	1
BUILDING HEIGHT	38'-10"
NUMBER OF STORIES	3
SQUARE FEET PER FLOOR	7,635 SF
PARKING REQUIRED:	
MINIMUM	-
MAXIMUM	-
2.5 SPACE/DWELLING UNIT	80
1 SPACE/200 SF	2
TOTAL PARKING PROVIDED:	25
PUBLIC WATER AND SEWER BY CFPWA	
EXISTING WATER FLOW:	0 GPD
EXISTING SEWER FLOW:	0 GPD
PROPOSED WATER FLOW:	8,712 GPD
(240 GPD/1&2 BEDROOM UNITS x 110%)	
PROPOSED SEWER FLOW:	7,920 GPD
(240 GPD/1&2 BEDROOM UNITS x 33 UNITS)	
HANDICAP SPACES REQUIRED	PROPOSED
(1-25 SPACES= 1 HANDICAP SPACE)	
25 SPACES	1 SURFACE HANDICAP SPACES
BICYCLE PARKING REQUIRED (1 PER UNIT)	33 BICYCLE PARKS
BICYCLE PARKING PROPOSED	35 BICYCLE PARKS

Approved Construction Plan		
Name	Date	
Michelle Smith	11/15/19	
Traffic	11-15-19	
Fire	11-19-19	

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 11/20/19 Permit #201801523
Signed: Keith Christensen

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



NOTE: FIELD VERIFY EXISTING UTILITIES PRIOR TO INSTALLING STORM DRAIN

LEGEND	
	EXIST. FIRE HYDRANT
	EXIST. POWER POLE
	CENTER LINE
	R/W LINE
	BOUNDARY LINE
	LIMITS OF DISTURBANCE
	PROPOSED SANITARY SEWER
	PROPOSED WATER
	PROPOSED ASPHALT AREA
	PROPOSED CONCRETE AREA
	PROPOSED TREE PROTECTION

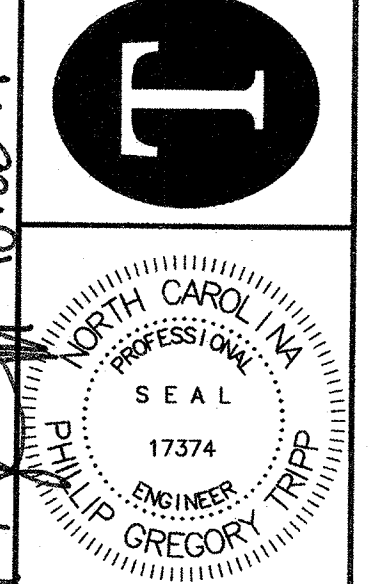
SITE AND UTILITY PLAN

THE MINI PEARL

WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.

419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-5100
Fax 910-763-5631
© 2019 TRIPP ENGINEERING, P.C.
© LICENSE NO. 10-08-19



DATE	10-08-19
DESIGN	PGT
DRAWN	EJW

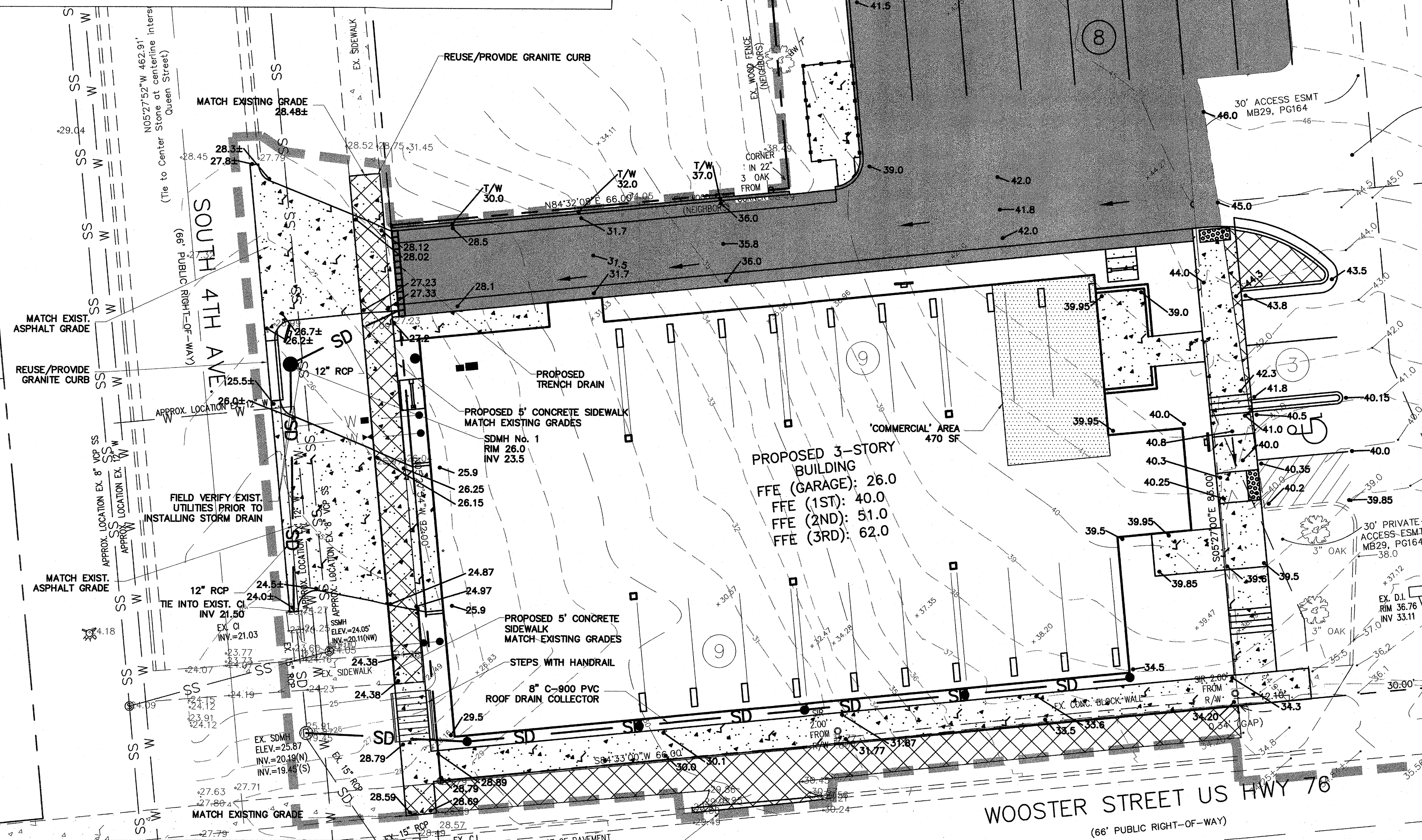
C2

APPLICANT:
PBW DEVELOPMENT, LLC
DAVID SPETRINO
314 WALNUT STREET
WILMINGTON NC 28401
PHONE # (910) 443-0746
EMAIL: SPETRINO@PLANTATIONBUILDINGCORP.COM

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 11/20/19 Permit #201801523
Signed: *Rich Christensen*

Approved Construction Plan
Name: *Nicole Smith* Date: *11/15/19*
Planning: *Nicole Smith*
Traffic: *James Menott* 11-15-19



- NOTES:**
ZONING
1) TOPOGRAPHY COMPLETED BY BATEMAN CIVIL SURVEY COMPANY.
2) PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. CITY OF WILMINGTON WILL NOT ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.
3) CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, INVERTS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED CONNECTIONS.
4) EXISTING EASEMENTS AS SHOWN.
5) CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
6) UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
7) SITE WILL NOT BE FENCED.
8) BUILDING CONSTRUCTION TYPE V-A.

- SOLID WASTE**
1) SITE TO USE ROLL-OUT TYPE CARTS.

- TRAFFIC**
1) ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
2) TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3) CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNALS FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
4) CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.

- TRAFFIC (CONT.)**
5) ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
6) CONTACT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
7) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
8) NO ROWS TO BE CLOSED.
9) NO STREETS PROPOSED.
10) OFF SITE PARKING PROPOSED AS SHOWN.
11) DRIVEWAYS TO MEET CITY STANDARDS.
12) ALL PARKING MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
13) STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
14) TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
15) POSTED SPEED LIMIT: 35 MPH
16) ANY TRAFFIC SIGNAL INFRASTRUCTURE ADJUSTMENTS, INCLUDING OVERHEAD OR UNDERGROUND SIGNAL SYSTEM FIBER COMMUNICATION LINES, ARE THE RESPONSIBILITY OF THE APPLICANT/DEVELOPER.
17) THE CITY SHALL BE NOTIFIED IMMEDIATELY OF ANY TRAFFIC SIGNAL FACILITIES DAMAGED DURING CONSTRUCTION.
18) A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5888 FOR MORE DETAILS.

- LANDSCAPING**
1) A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
2) NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.

- LANDSCAPING (CONT.)**
3) PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
4) ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
5) NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTIONS ON TREE PROTECTION METHODS.

- CFPUA**
1) WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
2) PROJECT SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
3) IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
4) ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA'S CONNECTION CONTROL REGULATION. CALL 910-332-6419 FOR INFORMATION.
5) ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USFCOCCCHR OR ASSE.
6) PUBLIC WATER AND SEWER EXISTING.
7) CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-832-4949 PRIOR TO DOING AND DIGGING, CLEARING, OR GRADING.

- CFPUA (CONT.)**
8) ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
9) CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
DRAINAGE
1) SITE TO DRAIN TO OFFSITE EXISTING STORM DRAIN MANHOLE ON S. 4TH AVE.
2) FIELD VERIFY EXISTING UTILITIES PRIOR TO INSTALLING STORM DRAIN.

- FIRE**
1) FIRE HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE).
2) FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
3) LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPAN SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
4) IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
5) ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.
6) CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.

- SITE**
1) SITE LIGHTING TO BE PROVIDED BY DUKE ENERGY.

SITE DATA:

PROPERTY OWNER: PBW DEVELOPMENT, LLC
PROJECT ADDRESS: 721 S. 4TH AVENUE
PIN NUMBERS: 407 WOOSTER STREET
R05409-019-000-000
R05409-019-010-000

AREA NOT IN A FEMA 100-YEAR FLOOD ZONE
ZONING DISTRICT: UMX - URBAN MIXED USE
DAWSON-WOOSTER OVERLAY DISTRICT
CAMA LAND USE: URBAN
TRACT AREA: 14,667 SF (0.34 AC)

DISTURBED AREA: 0.95 Ac.
SETBACKS REQUIRED: FRONT: 0'
REAR: 0'
SIDE: 0'
INTERIOR SIDE: 5'
CORNER SIDE: 5'

PROPOSED BUILDING SETBACKS: FRONT: 5'
REAR: 3'
SIDE: 8'
INTERIOR SIDE: 5'
CORNER SIDE: 7'

BUILDING USE: RESIDENTIAL/COMMERCIAL
BUILDING TYPE: V-A

PROPOSED BUILDING AREA (GROSS): 22,905 SF
BUILDING LOT COVERAGE (7,635/14,667): 52%
NUMBER OF UNITS: 33
(1 BEDROOM; 23 UNITS 2 BEDROOM; 9 UNITS)
(1 COMMERCIAL UNIT)
NUMBER OF PROPOSED BUILDINGS: 1
BUILDING HEIGHT: 38'-10"
NUMBER OF STORIES: 3
SQUARE FEET PER FLOOR: 7,635 SF

PARKING REQUIRED: MINIMUM
MAXIMUM: 80
2.5 SPACE/DWELLING UNIT
1 SPACE/200 SF
TOTAL PARKING PROVIDED: 25

PUBLIC WATER AND SEWER BY CFPUA
EXISTING WATER FLOW: 0 GPD
EXISTING SEWER FLOW: 0 GPD
PROPOSED WATER FLOW: 8,712 GPD
(240 GPD/1&2 BEDROOM UNITS x 110%)
PROPOSED SEWER FLOW: 7,920 GPD
(240 GPD/1&2 BEDROOM UNITS x 33 UNITS)
HANDICAP SPACES REQUIRED (1-25 SPACES= 1 HANDICAP SPACE): PROPOSED
25 SPACES
BICYCLE PARKING REQUIRED (1 PER UNIT) 33 BICYCLE PARKS
BICYCLE PARKING PROPOSED: 35 BICYCLE PARKS

THE MINI PEARL:

EXISTING ON-SITE IMPERVIOUS AREAS: 0 SF
PROPOSED ON-SITE IMPERVIOUS AREAS:
PROPOSED BUILDING FOOTPRINT: 7,635 SF
PROPOSED ASPHALT: 5,605 SF
PROPOSED CONCRETE: 640 SF
TOTAL PROPOSED ON-SITE IMPERVIOUS AREA 11,880 SF(81%)

PROPOSED OFF-SITE IMPERVIOUS AREAS:
PROPOSED OFF-SITE CONCRETE: 1,055 SF
PROPOSED OFF-SITE DRIVEWAYS: 1,060 SF
EXISTING OFF-SITE IMPERVIOUS TO BE REMOVED: -1,188 SF
TOTAL PROPOSED OFF-SITE IMPERVIOUS AREA: 927 SF

TOTAL ON-SITE + OFF-SITE IMPERVIOUS AREA 12,807 SF

THE PEARL:

PRE-DEVELOPMENT ON-SITE IMPERVIOUS AREAS:
BUILDING: 0 SF
CONCRETE: 5,340 SF
BRICK WALL: 460 SF
ASPHALT: 1,765 SF
OLD/BROKEN ASPHALT: 5,440 SF
TOTAL IMPERVIOUS AREA: 13,005 SF (79.13%)

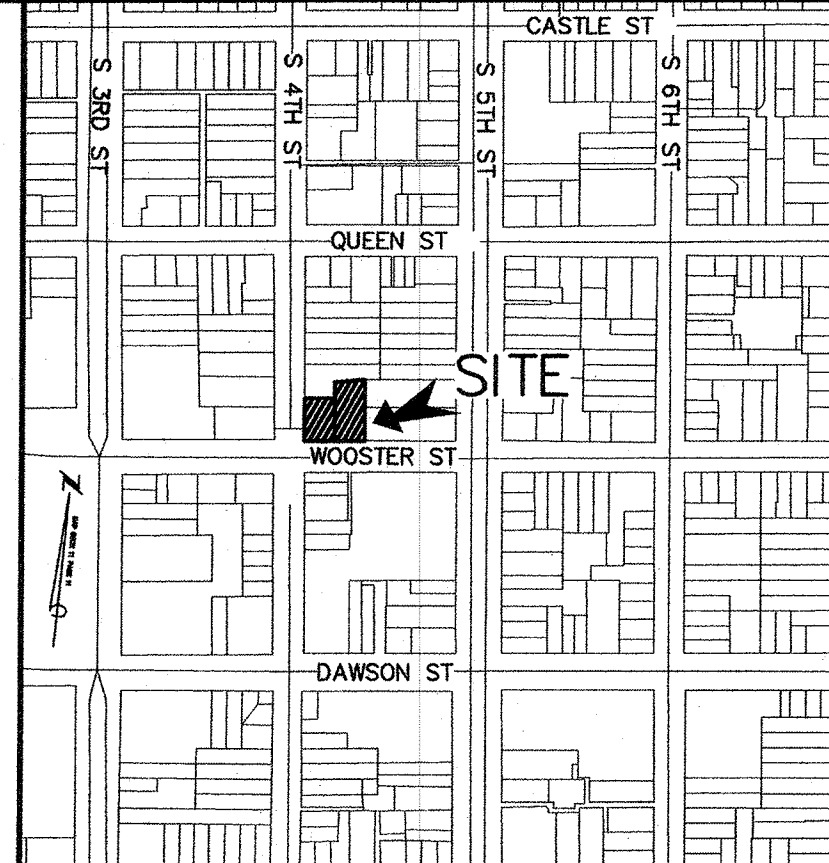
EXISTING IMPERVIOUS REMOVED: -11,435 SF
TOTAL PRE-DEVELOPMENT IMPERVIOUS RETAINED: 1,570 SF

POST DEVELOPMENT ON-SITE IMPERVIOUS AREAS:
BUILDING FOOTPRINT: 7,392 SF
ASPHALT: 5,831 SF
CONCRETE: 1,485 SF
TOTAL IMPERVIOUS AREA: 12,708 SF
TOTAL PRE-DEVELOPMENT IMPERVIOUS RETAINED: 1,570 SF
POST-DEVELOPMENT NEW CONSTRUCTION: 11,138 SF

POST DEVELOPMENT IMPERVIOUS AREA: 12,708 SF
FUTURE: 297 SF
TOTAL IMPERVIOUS AREA: 13,005 SF

THE PEARL + THE MINI PEARL: (ON-SITE)

BUILDING: 15,027 SF
ASPHALT: 7,436 SF
CONCRETE: 2,125 SF
FUTURE: 297 SF
EXISTING IMPERVIOUS TO REMAIN: 1,570 SF
TOTAL IMPERVIOUS AREA: 26,455 SF



LOCATION MAP
NOT TO SCALE

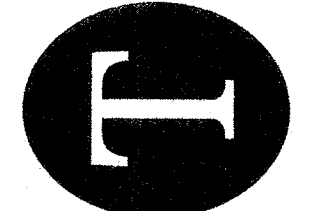
REVISIONS		
No./Date	Description	By
10-15-19	CDW COMMENTS	EJW
11-01-19	CDW COMMENTS	EJW
11-05-19	CDW COMMENTS	EJW

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

THE MINI PEARL

WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-5100
Fax 910-763-5631
© 2019 TRIPP ENGINEERING, P.C.



DATE: 10-08-19
DESIGN: PGT
DRAWN: EJW

C3

SHEET 3 OF 6
18016

[illegible]

DETAILS AND NOTES

THE MINI PEARL

WILMINGTON, NORTH CAROLINA

R-4995 — R-4996

TYPE M FRAME WITH SOLID OR GRATED COVER

Cover Type Trough Assemblies—Light or Heavy Duty—For Use in Sidewalks, Entrances, Gates, Loading Docks, etc.

Read Carefully Before Ordering

Specify:

1. Complete catalog number
2. Light or heavy duty
3. Overall length of cover required
4. Lid solid, flat grated, or diagonally braced covers glass
5. Location of outlet, side, bottom or end (give dimensional location and give size)
6. Whether one end or both ends are to be up (or closed).

Illustrating Type M frame with grated cover. Standard with 4-inch outlet curb outlet. Can be equipped for inside drains if specified.

Trough covers are used over areas requiring long drainage assemblies. Can be supplied in a variety of sizes and lengths to meet special needs. For trenches of irregular pattern, product engineering can provide layout drawings.

Standard 4-inch outlet at end of drain. Special size outlets are available. Provided with side and bottom outlets optional and furnished only when specified.

Sections: Thru Drains, Type M

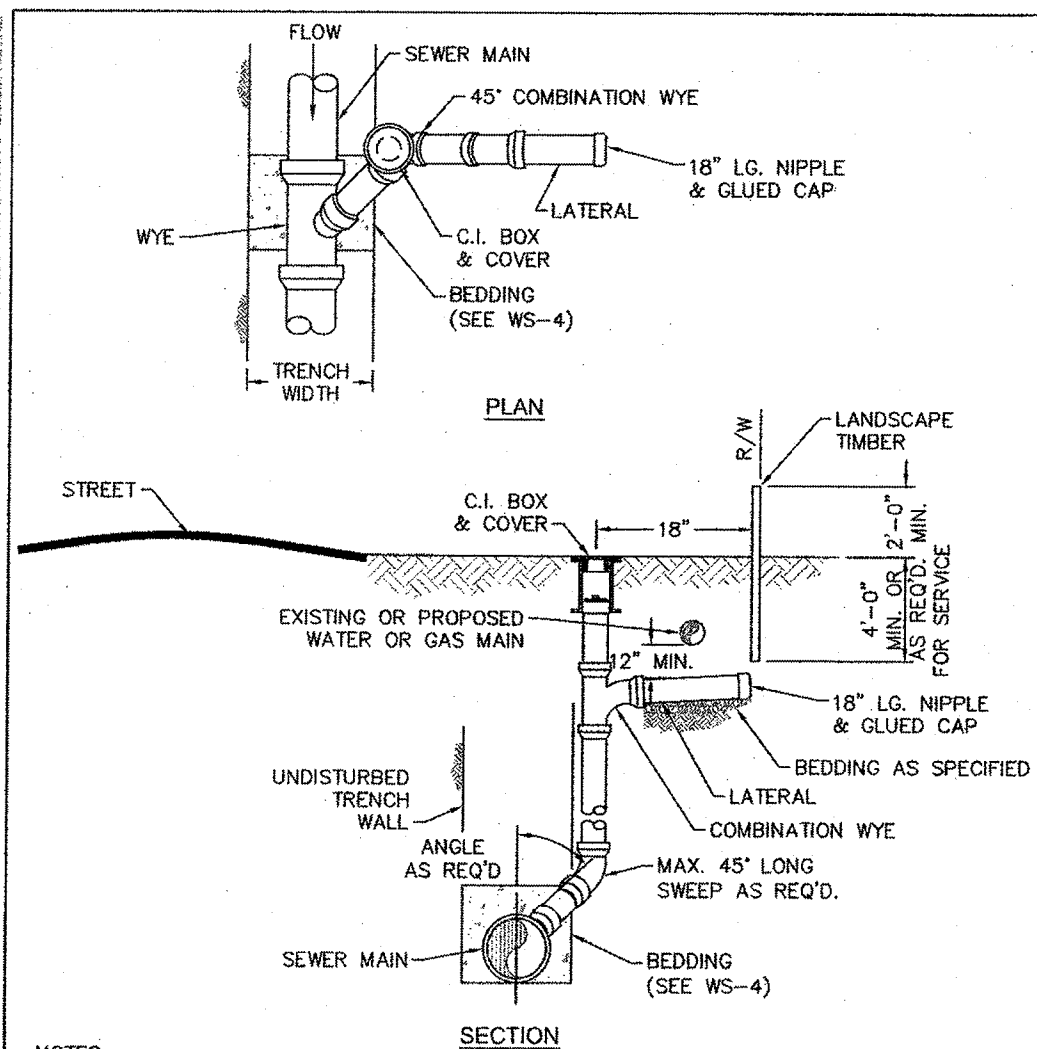
Catalog No.	Description	Dimensions, in. inches				Length
		A	B	C	D	
Standard Rows—Light Duty						
R-4995-A1	150" grated cover	17 1/2	3 1/2	6 1/2	4 1/2	As ordered
R-4995-A2	With grated cover	7	3 1/2	5	4 1/2	As ordered
R-4995-B1	150" solid cover	17 1/2	3 1/2	6 1/2	4 1/2	As ordered
R-4995-B2	With solid cover	7	3 1/2	5	4 1/2	As ordered
Standard Rows—Heavy Duty						
R-4996-A1	150" grated cover	17 1/2	3 1/2	6 1/2	4 1/2	As ordered
R-4996-A2	With grated cover	7	3 1/2	5	4 1/2	As ordered
R-4996-B1	150" solid cover	17 1/2	3 1/2	6 1/2	4 1/2	As ordered
R-4996-B2	With solid cover	7	3 1/2	5	4 1/2	As ordered

Notes: Standard A is panel made 14 ft. 6 inches, maximum to 1 ft. length.

*Available with Type B grate only.

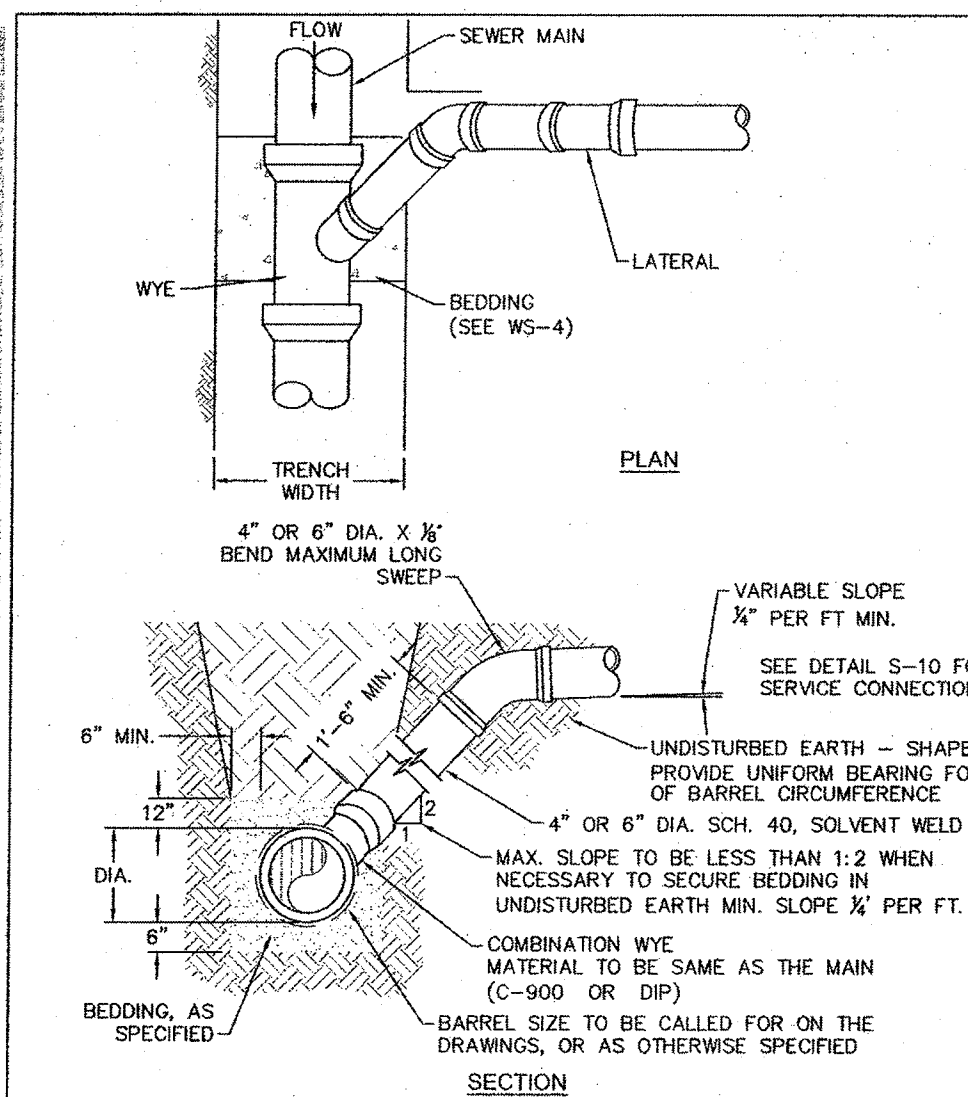
*Also available with Type P grate.

290



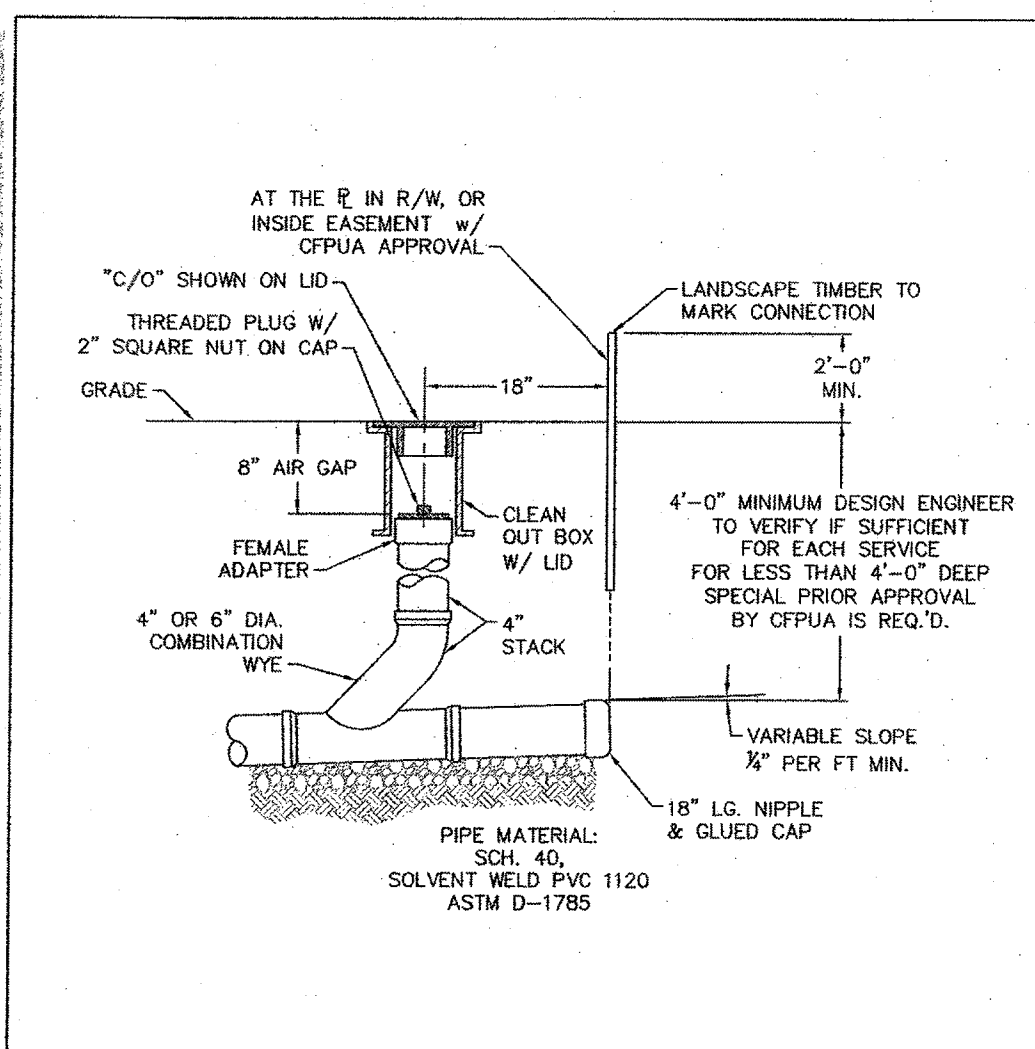
- SECTION
- NOTES:
1. SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
 2. ALL SERVICES CONNECTING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF DIP, WITH PROTECTIVE LINING.
 3. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.
 4. FOR PRIVATE "B" SERVICES, MANHOLES ARE REQUIRED FOR CONNECTION TO MAIN.

DETAIL: SEWER SERVICE CONNECTION - SHORT-SIDE			CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6500	DETAIL NO: S-9
SCALE: NOT TO SCALE	OFFPWA DETAIL DATE: 01/01/19			SHEET NO: -
OFFPWA REV. No: 1 OFFPWA REV. DATE:		Stewardship, Sustainability, Service.		




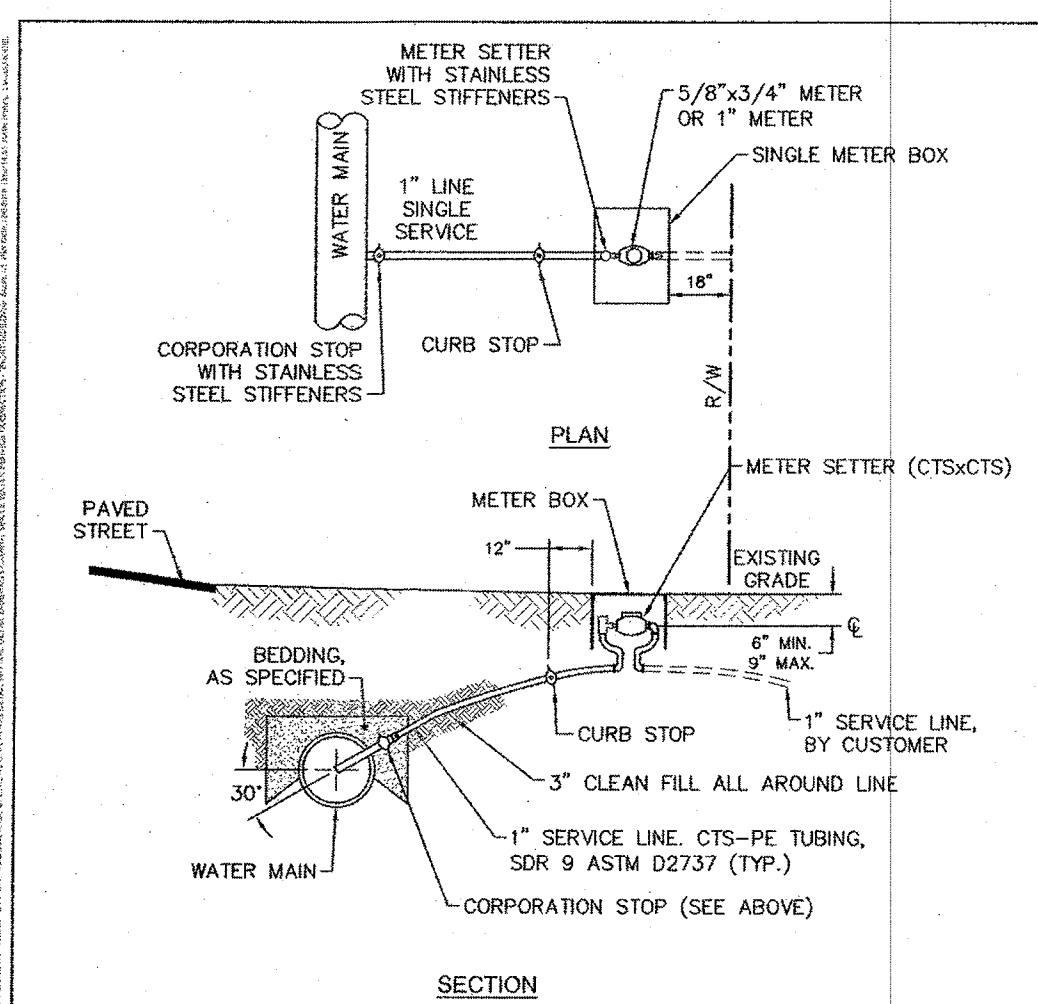
- NOTES:**
1. FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR CONNECTION TO SYSTEM AND AT THE PROPERTY LINE, WITH REQUIRED EASEMENT.
 2. ALL SERVICES CONNECTING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF DIP, WITH PROTECTIVE LINING.

DETAIL: SEWER SERVICE CONNECTION - MAIN TO LATERAL (LESS THAN 8' DEEP)		 <p>CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (919)332-6560</p> <p>Stewardship. Sustainability. Service.</p>	DETAIL NO.: S
SCALE: NOT TO SCALE	CFPWA DETAIL DATE: 01/05/19		SHEET NO.: 1
CFPWA REV. No. 1			



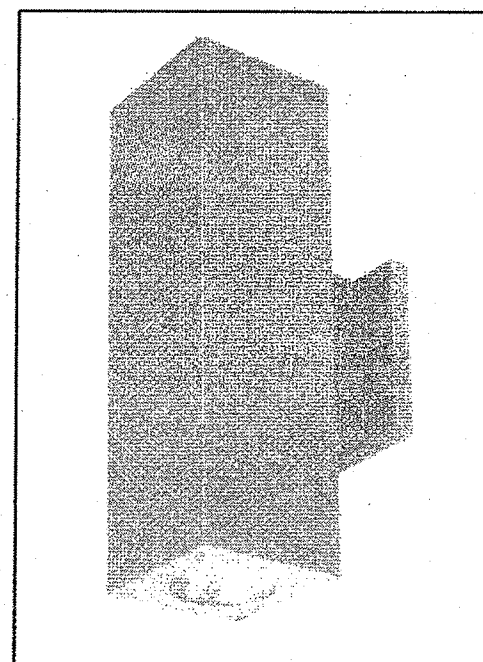
- NOTES:
1. FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR CONNECTION TO SYSTEM AND AT THE PROPERTY LINE, WITH REQUIRED EASEMENT.
 2. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.

DETAIL: SEWER SERVICE CONNECTION - TYPICAL CLEAN-OUT			CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6500	DETAIL NO: S-13
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/19			SHEET NO: -
CFPUA REV. No. 1				

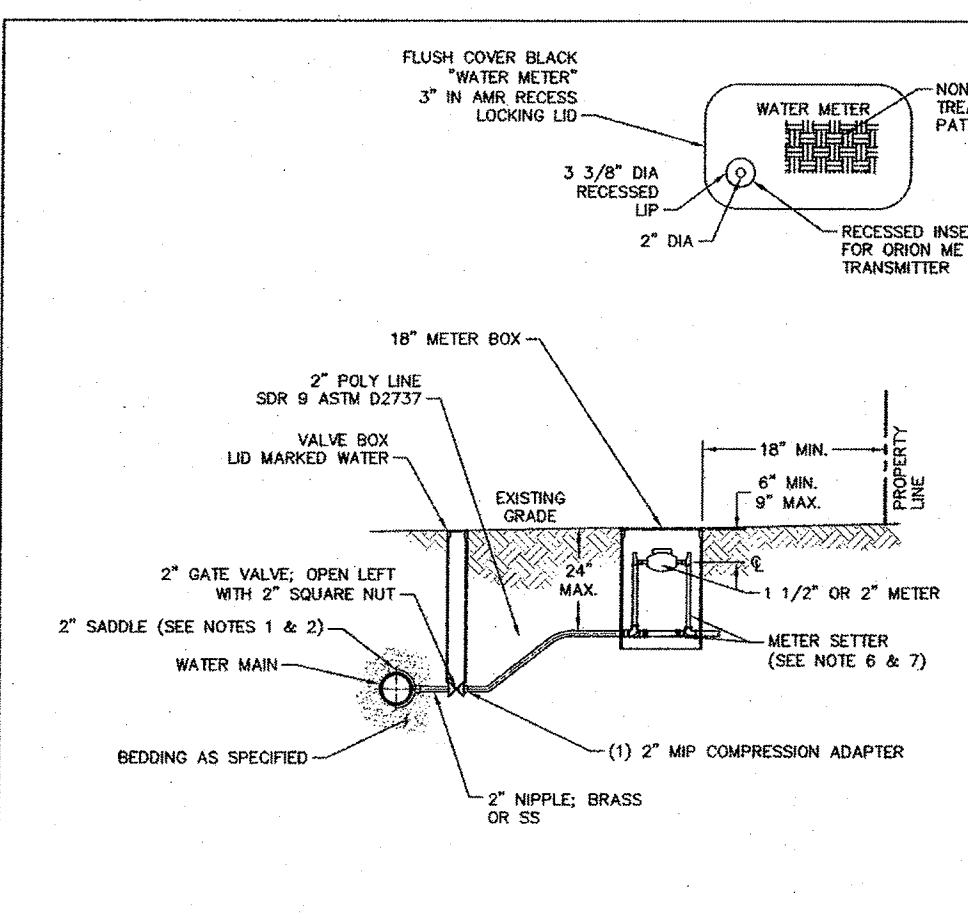


- NOTES:**
1. NO JOINT SHALL BE INSTALLED BETWEEN THE MAIN SERVICE TAP AND THE METER STOP. ALL SERVICES SHALL BE INSTALLED PERPENDICULAR TO MAIN.
 2. WATER SADDLES ON PVC MAINS SHALL BE WIDE BAND BRASS BODY.
 3. METER BOXES SUBJECT TO TRAFFIC LOAD SHALL CONFORM TO ASTM A48, CLASS JOB AND AASHTO H20 LOAD RATING STANDARDS.
 4. WATER SERVICE LINE SHALL TERMINATE 18" WITHIN RIGHT-OF-WAY LINE.
 5. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.
 6. SERVICE PIPING AND METER SETTER TO BE CENTERED IN THE METER BOX.


DETAIL: SINGLE WATER SERVICE CONNECTION - TYPICAL SHORT-SIDE CONNECTION			CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)337-6500	DETAIL NO: W-1
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/19			SHEET NO: -
CFPUA REV. No: 1		Stewardship. Sustainability. Service.		

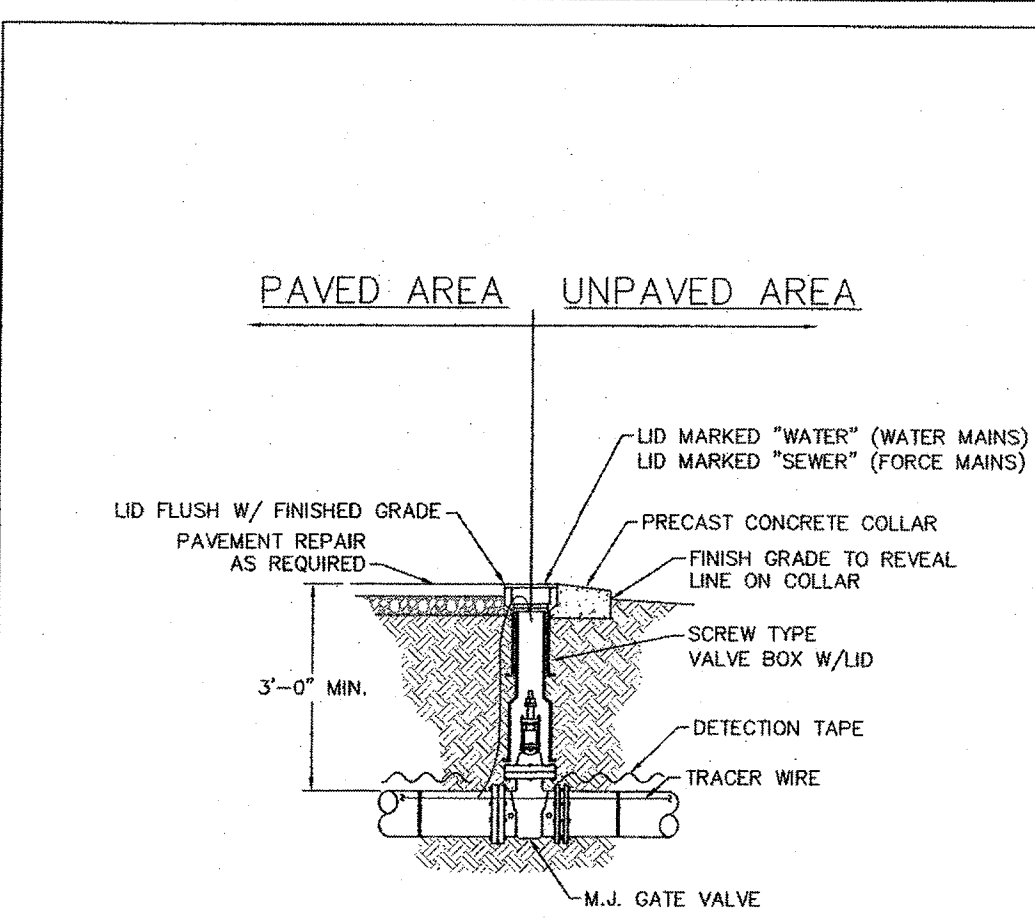


PROPOSED EXTERIOR LIGHTING
NTS



- NOTES:
1. WATER SERVICES SHALL BE INSTALLED PERPENDICULAR TO MAIN AND TERMINATE 18" INSIDE RIGHT-OF-WAY LINE.
 2. SERVICE SADDLES ON PVC MAINS SHALL BE WIDE BAND BRASS BODY.
 3. WATER SERVICES SUSCEPTIBLE TO TRAFFIC SHALL CONFORM TO ASTM A48, CLASS 30B AND A H20 LOAD RATING STANDARDS.
 4. NON-TRAFFIC METER BOXES SHALL BE PER CPUSA STANDARD MATERIAL.
 5. 1" CLEAN FILL REQUIRED ALL AROUND 2" POLY SERVICE LINE.
 6. 1/2" FILL - IN METER SETTER SHALL BE PER CPUSA STANDARD MATERIAL.
 7. 2" METER - IN METER SETTER SHALL BE PER CPUSA STANDARD MATERIAL.
 8. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNERS.
 9. SERVICE PIPING AND METER SETTER TO BE CENTERED IN THE METER BOX.

DETAIL: COMMERCIAL WATER SERVICE - 1 1/2 OR 2-INCH METERS		 CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship. Sustainability. Service.	DETAIL W
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/19		SHEET 1
CFPUA REV. No: 1			




- NOTES:
1. TRACER WIRE SHALL PENETRATE VALVE BOX THROUGH DRILLED HOLE APPROX. 6" BELOW GRADE WITH MINIMUM 2-FOOT EXTRA LENGTH COILED IN THE VALVE BOX. SEE WS-6.

DETAIL: <p style="text-align: center;">VALVE DETAIL</p>		 <p>CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)824560</p>	DETAIL NO: <p style="text-align: center;">WS-5</p>
SCALE: NOT TO SCALE	CFPWA DETAIL DATE: <p style="text-align: center;">01/01/19</p>		SHEET NO: <p style="text-align: center;">-</p>
CFPWA REV. No: 1			

CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:

4. ALL PROPOSED ADDITIONS TO THE CAPE CAER PUBLIC UTILITY AUTHORITY (CPUW) WATER DISTRIBUTION AND SANITARY SEWER COLLECTION SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED HEREIN, SHALL BE DESIGNED AND CONSTRUCTED TO CONFORM TO STATE RULES AND THE CPUW'S MINIMUM TECHNICAL STANDARDS FOR THE MINIMUM DESIGN CRITERIA. ALL ADDITIONS ARE CONTAINED IN THE CURRENT DESIGN GUIDANCE MANUAL.
5. MATERIAL, STANDARD REQUIREMENTS FOR CONSTRUCTION, FOR CONSTRUCTION, AND STANDARD DRAWING DETAILS.
6. SEWER GROUNDWATER SERVICES SHALL AT MANHOLES: STAINLESS STEEL, SEWER GROUNDWATER SERVICES SHALL BE PERPENDICULAR IN TRAFFIC AREAS.
7. WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE 18" INSIDE RIGHT-OF-WAY LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR TO MAIN AND TERMINATE 18" INSIDE RIGHT-OF-WAY LINE. ALL SEWER SERVICES CONNECTING INTO DUCTILE IRON MAINS SHALL ALSO BE CONNECTED TO THE DIP.
8. MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
9. NO FLEXIBLE COUPLINGS SHALL BE USED.
10. ALL STAINLESS STEEL FASTENERS SHALL BE TYPE 316.
11. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTIES.
12. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.
13. UNUSED SERVICES SHALL BE ABANDONED. ABANDONED WATER SERVICES SHALL BE DISCONNECTED FROM MAIN.
14. A MINIMUM OF 10' OF LINE SHALL BE PROVIDED FOR PLACED FOR NEW CONNECTIONS TO EXISTING CLAY GRAVITY SEWER MAINS.

DETAIL: STANDARD NOTES (PREQUED ON ALL PLAN AND PROFILE SHEETS)		 CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910) 232-6555	DETAIL NO: WS-14
SCALE: NOT TO SCALE	CFPWA DETAIL DATE: 01/02/19		SHEET NO: -
CFPWA REV. No: 2		Stewardship, Sustainability, Service	

DRAINAGE PLAN

~~SECRET~~ ~~NOFORN~~ ~~7/7/8~~

APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE 11/20/19 PERMIT # 2018015R3
SIGNED Rich Christensen

Approved Const. Plan

Name nicole D Smith Date 11/15/19
 Planning nicole D Smith
 Public Utilities
 Traffic W. Smith 11-15-19
 Fire Jane Mendt 11-19-19

10.08.19

TRIPP ENGINEERING, P.C.
419 Chestnut Street

415 Chestnut Street
Wilmington, North Carolina 28401

Phone 910-763-5100

© 2019 TRIPP ENGINEERING, P.C.
 LICENSE No. C-1427

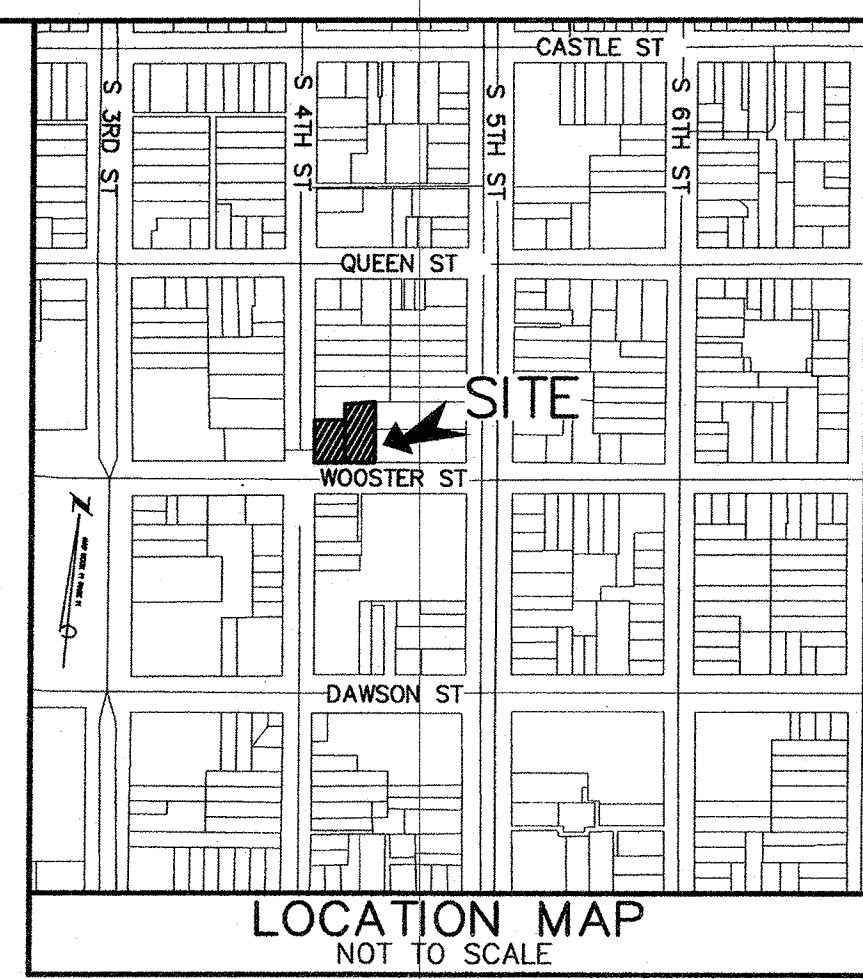
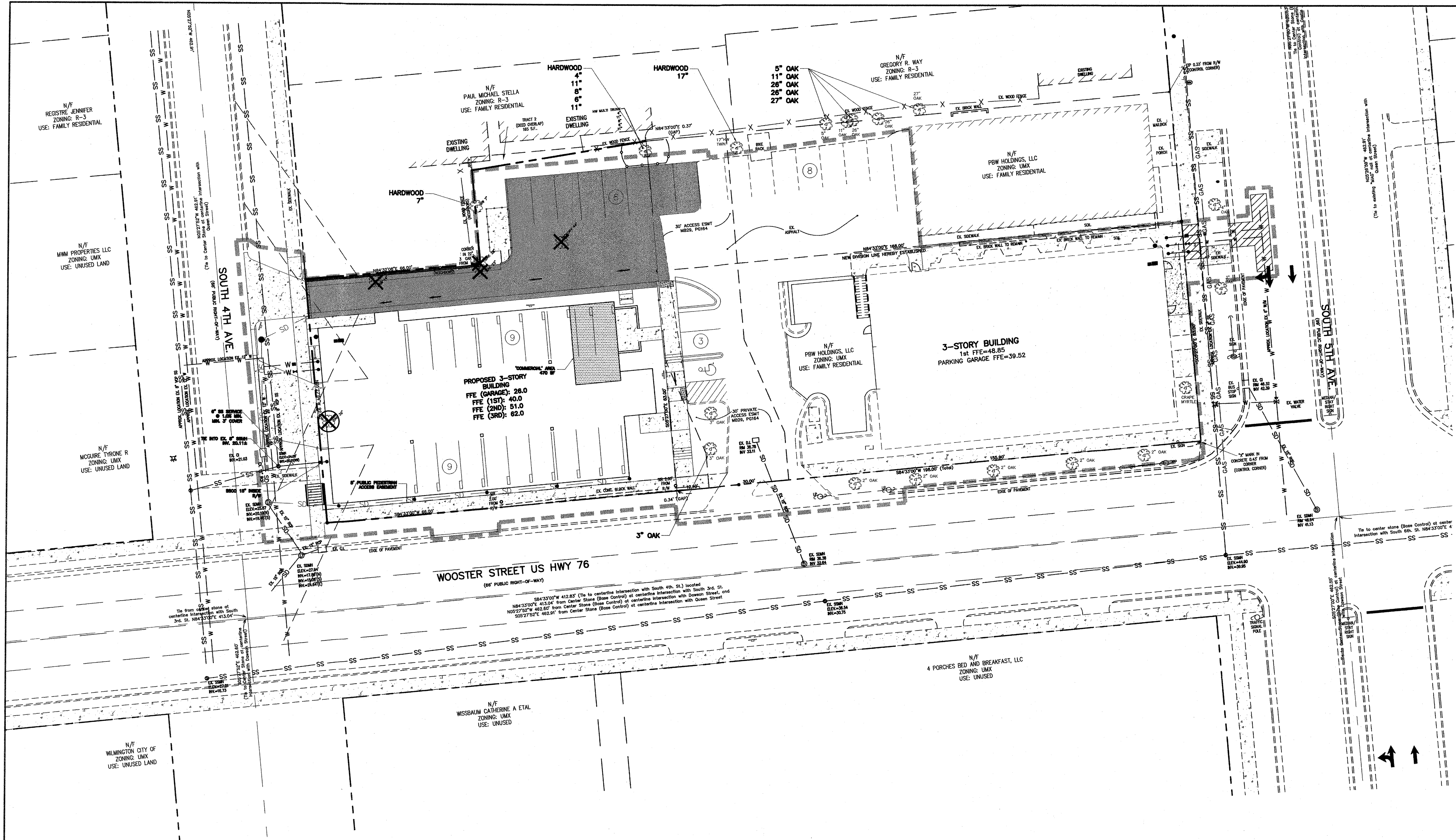
A circular professional engineer seal for Philip Gregory Tripp, North Carolina. The seal features a black circle with a white 'E' in the center. Below this, the text 'NORTH CAROLINA' is arched over the top, 'PROFESSIONAL' is arched over the middle, and 'SEAL' is in the center. The license number '17374' is below 'SEAL', and 'ENGINEER' is arched over the bottom. The name 'PHILIP GREGORY TRIPP' is written around the bottom edge of the seal.

DATE	10-08-19
DESIGN	PGT
DRAWN	EJW

C6

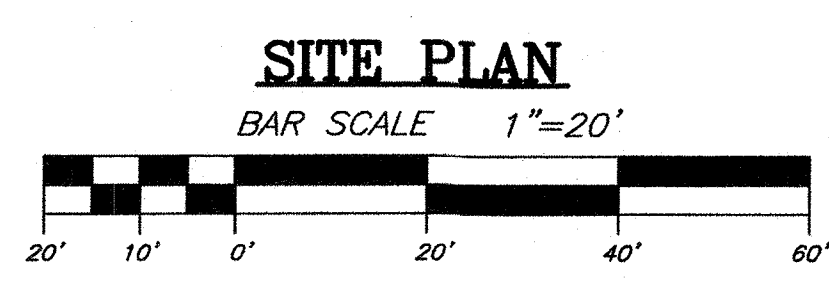
SHEET 6 OF 6

18016



SITE DATA:
PROPERTY OWNER: PBW DEVELOPMENT, LLC
PROJECT ADDRESS: 721 S. 4TH AVENUE
PIN NUMBERS: R05409-019-009-000, R05409-019-010-000
AREA NOT IN A FEMA 100-YEAR FLOOD ZONE
ZONING DISTRICT: UMX - URBAN MIXED USE
DAWSON-WOOSTER OVERLAY DISTRICT
CAMA LAND USE: URBAN
TRACT AREA: 14,667 SF (0.34 AC)

REVISIONS		
No.	Description	By
10-15-19	ADD COMMENTS	EJW
11-01-19	ADD COMMENTS	EJW
11-05-19	ADD COMMENTS	EJW



Approved Construction Plan
Name: *Nicole Smith* Date: *11/19/19*
Planning: *Nicole Smith*
Traffic: *James Merrill*
Fire: *James Merrill* 11-19-19

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 11/20/19 Permit #2018015R3
Signed: *Rob Christman*

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

INVENTORY OF TREES TO BE REMOVED		
TREE TYPE	TREE SIZE	QUANTITY
OAK	4-30"	1
OAK	22"	1
OAK	23"	1
HICKORY	44"	1
HARDWOOD	14"	1

• ALL TREES TO BE REMOVED ARE LOCATED WITHIN ESSENTIAL SITE IMPROVEMENTS
• * SIGNIFICANT TREES TO BE MITIGATED

INVENTORY OF TREES TO BE PLANTED IN EXCESS OF REQUIREMENT (SEE LANDSCAPE PLAN)				
TREE TYPE	TREE SIZE	QUANTITY	TOTAL DBH	CREDIT
GRAPE MYRTLE	3"	4	12	4
HORNBEAM FASTIGIATA	3"	12	36	12

16 TREES (CREDIT)

INVENTORY OF TREES TO BE PRESERVED				
TREE TYPE	TREE SIZE	QUANTITY	TOTAL DBH	CREDIT
OAK	27"	1	27	5
OAK	26"	2	52	9
OAK	11"	1	11	2
OAK	5"	1	5	1
HARDWOOD	17"	1	17	3
HARDWOOD	11"	2	22	4
HARDWOOD	8"	1	8	2
HARDWOOD	7"	1	7	2
HARDWOOD	6"	1	6	2
HARDWOOD	4"	1	4	1

31 TREES (CREDIT)

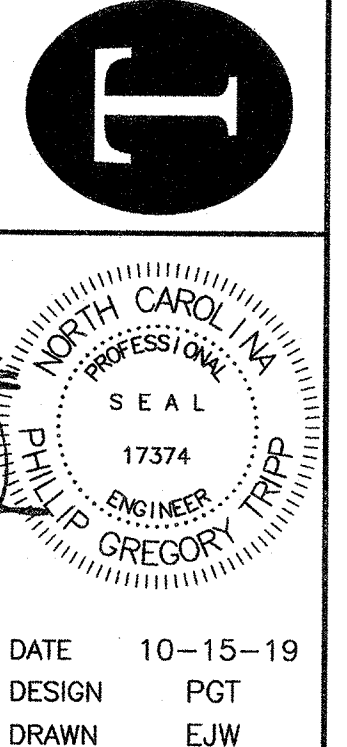
TREE MITIGATION CHART				
TREE TYPE	TREE SIZE	# OF TREES	% MITIGATION	REPLACEMENT TREES REQUIRED
OAK	39 IN.	1	100(x2)	39x2/3=26
HICKORY	44 IN.	1	75(x2)	44x1.5/3=22

NOTES:
REPLACEMENT TREES REQUIRED = 48 TREES
TOTAL REPLACEMENT TREES = 48 TREES - 47 TREES (CREDIT) = 1 TREE
1 @ \$350/TREE = \$350

- LEGEND**
- EXIST. FIRE HYDRANT
 - EXIST. POWER POLE
 - CENTER LINE
 - R/W LINE
 - BOUNDARY LINE
 - LIMITS OF DISTURBANCE
 - PROPOSED SANITARY SEWER
 - PROPOSED WATER
 - PROPOSED ASPHALT AREA
 - PROPOSED PERVIOUS CONCRETE AREA
 - PROPOSED CONCRETE AREA
 - PROPOSED TREE PROTECTION
 - TREE TO BE REMOVED
 - TREE PREVIOUSLY REMOVED BY PERMIT

TREE MITIGATION PLAN
THE MINI PEARL
WILMINGTON, NORTH CAROLINA

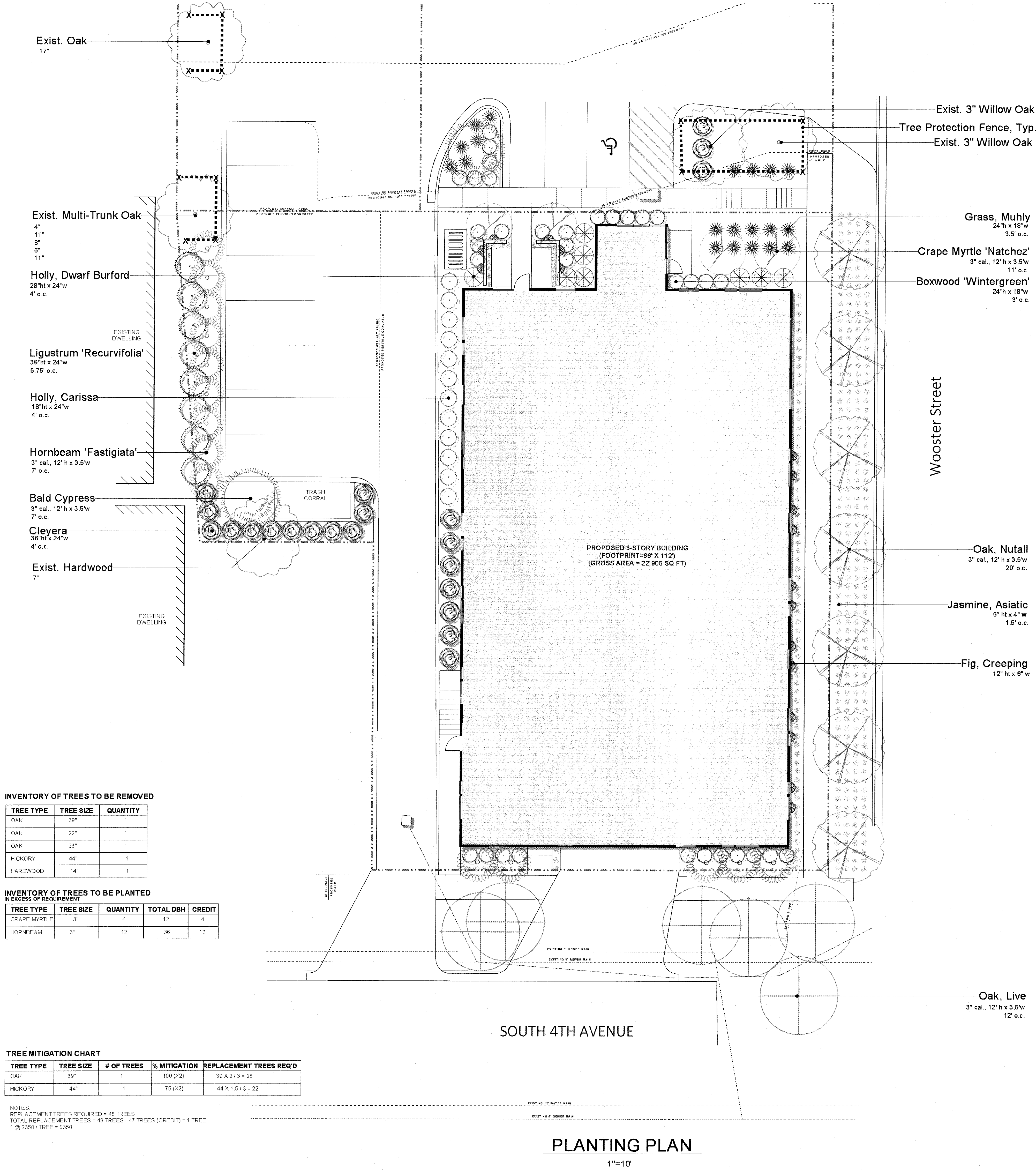
TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-5100
Fax 910-763-5661
© 2019 TRIPP ENGINEERING, P.C.
LICENSE NO. 0-15727



APPLICANT:
PBW DEVELOPMENT, LLC
DAVID SPETRINO
314 WALNUT STREET
WILMINGTON NC 28401
PHONE # (910) 443-0746
EMAIL: SPETRINO@PLANTATIONBUILDINGCORP.COM

DATE: 10-15-19
DESIGN: PGT
DRAWN: EJW

T1
SHEET 1 OF 1
18016



INVENTORY OF TREES TO BE REMOVED

TREE TYPE	TREE SIZE	QUANTITY
OAK	39"	1
OAK	22"	1
OAK	23"	1
HICKORY	44"	1
HARDWOOD	14"	1

INVENTORY OF TREES TO BE PLANTED
IN EXCESS OF REQUIREMENT

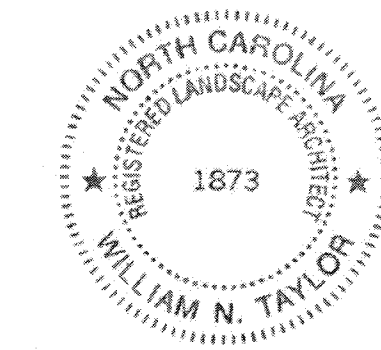
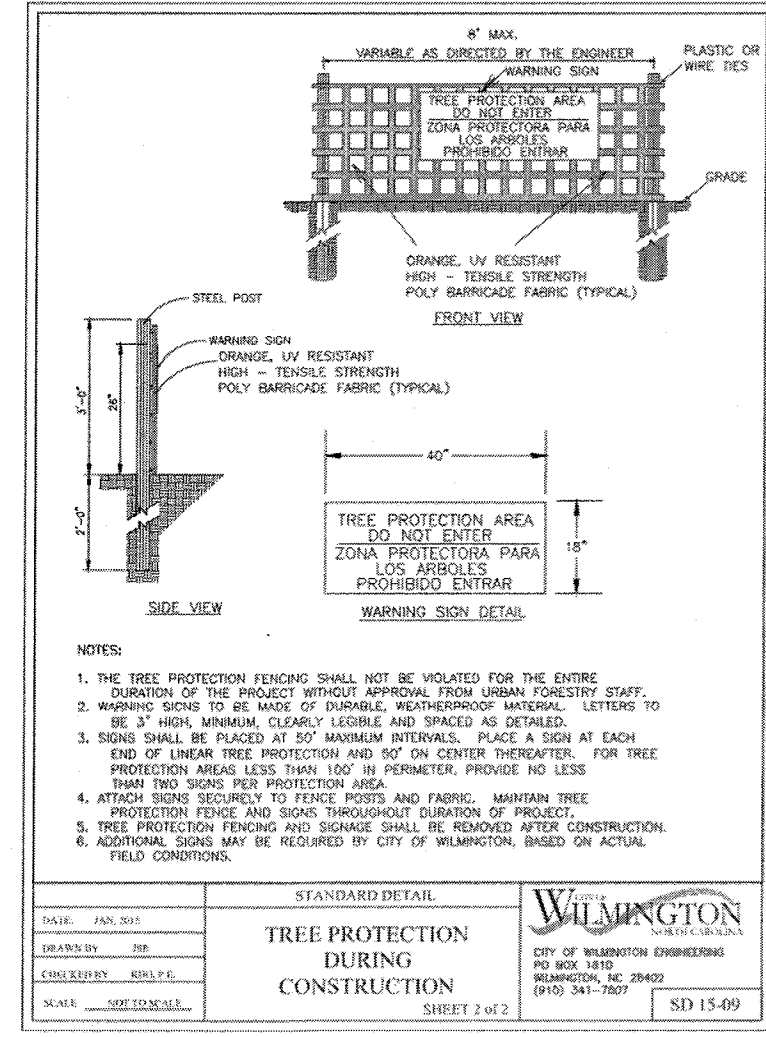
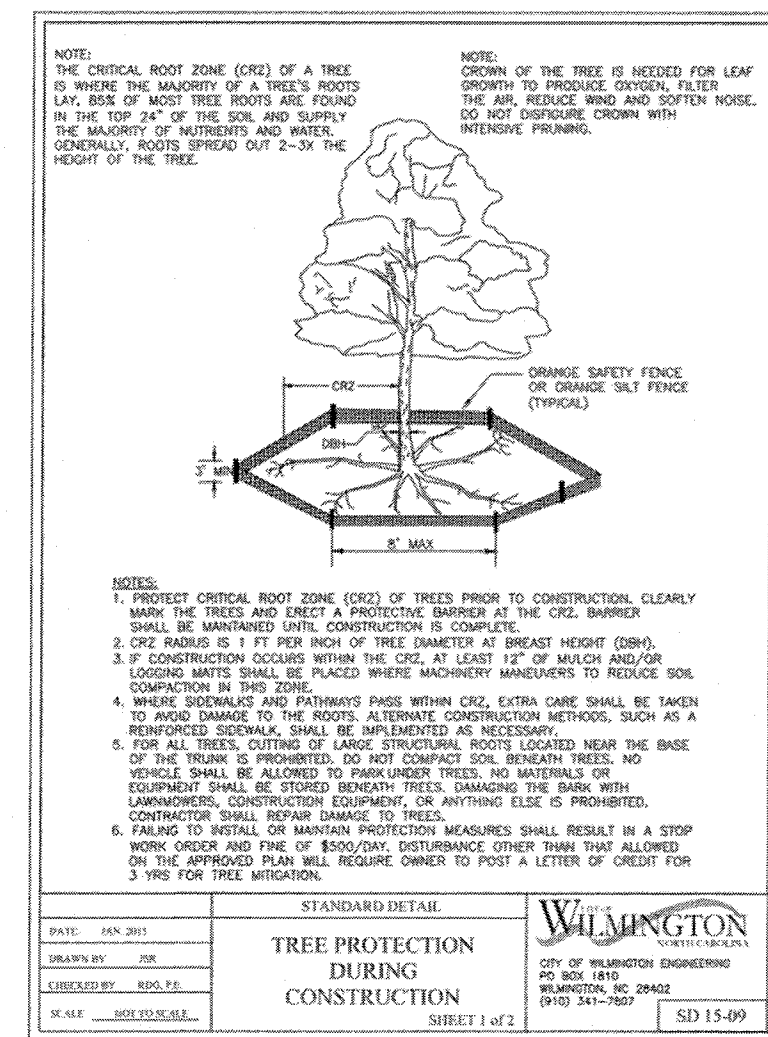
TREE TYPE	TREE SIZE	QUANTITY	TOTAL DBH	CREDIT
CRAPE MYRTLE	3"	4	12	4
HORNBEAM	3"	12	36	12

TREE MITIGATION CHART

TREE TYPE	TREE SIZE	# OF TREES	% MITIGATION	REPLACEMENT TREES REQ'D
OAK	39"	1	100 (X2)	39 X 2 / 3 = 26
HICKORY	44"	1	75 (X2)	44 X 1.5 / 3 = 22

NOTES:
REPLACEMENT TREES REQUIRED = 48 TREES
TOTAL REPLACEMENT TREES = 48 TREES - 47 TREES (CREDIT) = 1 TREE
1 @ \$350 / TREE = \$350

Plant Legend				
Symbol	Qty	Common	Botanical	Size
	2	Bald Cypress	Taxodium distichum	B&B, 3" cal.
	34	Boxwood 'Wintergreen'	Buxus microphylla 'Wintergreen'	3 gal.
	22	Cleyera	Ternstroemia gymnanthera	7 gal., 36" ht.
	4	Crape Myrtle 'Natchez'	Lagerstroemia indica 'Natchez'	B&B, 3" cal.
	18	Fig, Creeping	Ficus pumila	1 gal.
	20	Grass, Muhly	Muhlenbergia capillaris	3 gal.
	12	Holly, Carissa	Ilex cornuta 'Carissa'	3 gal.
	8	Holly, Dwarf Burford	Ilex cornuta 'Burfordii Nana'	7 gal.
	14	Hornbeam 'Fastigiata'	Carpinus betulus 'Fastigiata'	B&B, 3" cal.
	407	Jasmine, Asiatic	Trachelospermum asiaticum	4 in.
	8	Ligustrum 'Recurvifolia'	Ligustrum japonica 'Recurvifolia'	7 gal., 36" ht.
	6	Oak, Live	Quercus virginiana	B&B, 3" cal.
	7	Oak, Nuttall	Quercus nuttallii	B&B, 3" cal.



Approved Construction Plan

Name: Michael Smith Date: 11/15/19

Planning: W. Smith 11/15/19

Traffic: James Menard 11/15/19

Fire: James Menard 11/15/19

WILMINGTON NORTH CAROLINA

Public Services • Engineering Division

APPROVED DRAINAGE PLAN

Date: 11/20/19 Permit: #2018015R3

Signed: Rich Christensen

Site Data:
Project Name: The Mini Pearl
Proposed Land Use: Residential
Project Owner: PBW Development, LLC
Mailing Address: 314 Walnut Street, Wilmington, NC 28401

Notes:
Prior to any clearing, grading, or construction activity, tree protection fencing will be installed around protected trees or groves of trees. No construction worker, tools, materials, or vehicles are permitted within the tree protection fencing.

All landscape beds in parking areas to be at least 216 square feet.

STREET	NUMBER OF TREES REQUIRED	NUMBER OF TREES PROVIDED
S. 4th AVENUE	92/30 = 3.07	6
WOOSTER STREET	132/30 = 4.4	7

BLDG. FACE	PLANTING AREA REQUIRED	PLANTING AREA PROVIDED
NORTH	34' X 112' X 12% = 456.96 SF	545.2 SF
EAST	34' X 68' X 12% = 269.28 SF	626.1 SF
SOUTH	N/A	
WEST	N/A	

AREA	NUMBER OF TREES REQUIRED	NUMBER OF TREES PROVIDED
NORTH PROP. LINE	54/27 = 2	9



SCALE: 1"=10'

DATE: 24 Sep 2019
REV1: 26 Sep 2019
REV2: 28 Oct 2019
REV3: 30 Oct 2019
REV4: 31 Oct 2019
REV5: 8 Nov 2019
REV6: 13 Nov 2019
DESIGN: NT

These drawings and the design thereon are the property of Flora Landscapes, LLC and may not be used in whole or in part without the written consent of Flora Landscapes, LLC. Any infringement will be subject to legal action.

Landscape Plan For:

PBC DESIGN + BUILD

The Mini Pearl
407 Wooster Street
Wilmington, NC

SHEET 1 OF 1

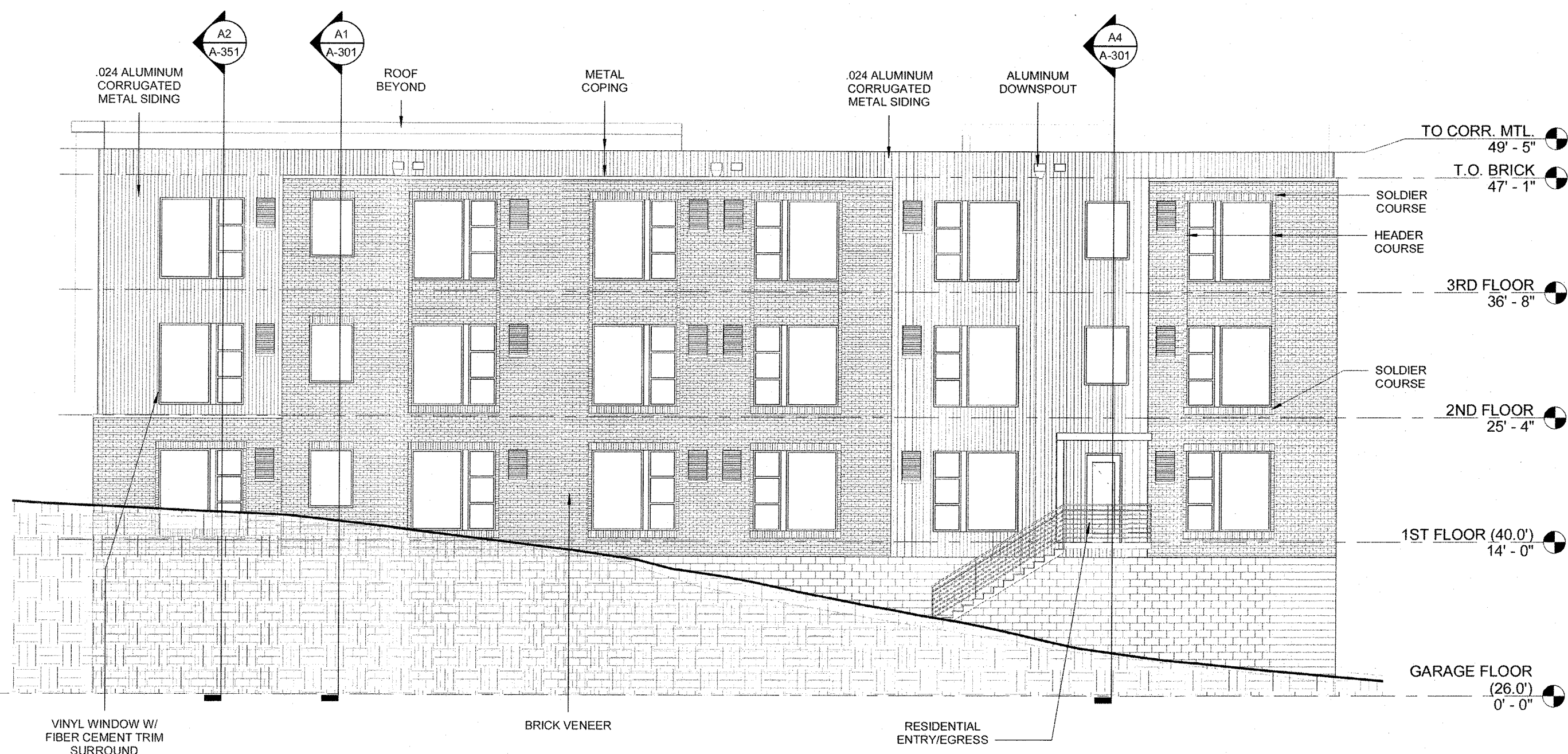
REVISIONS:

No.	Description	Date
-----	-------------	------

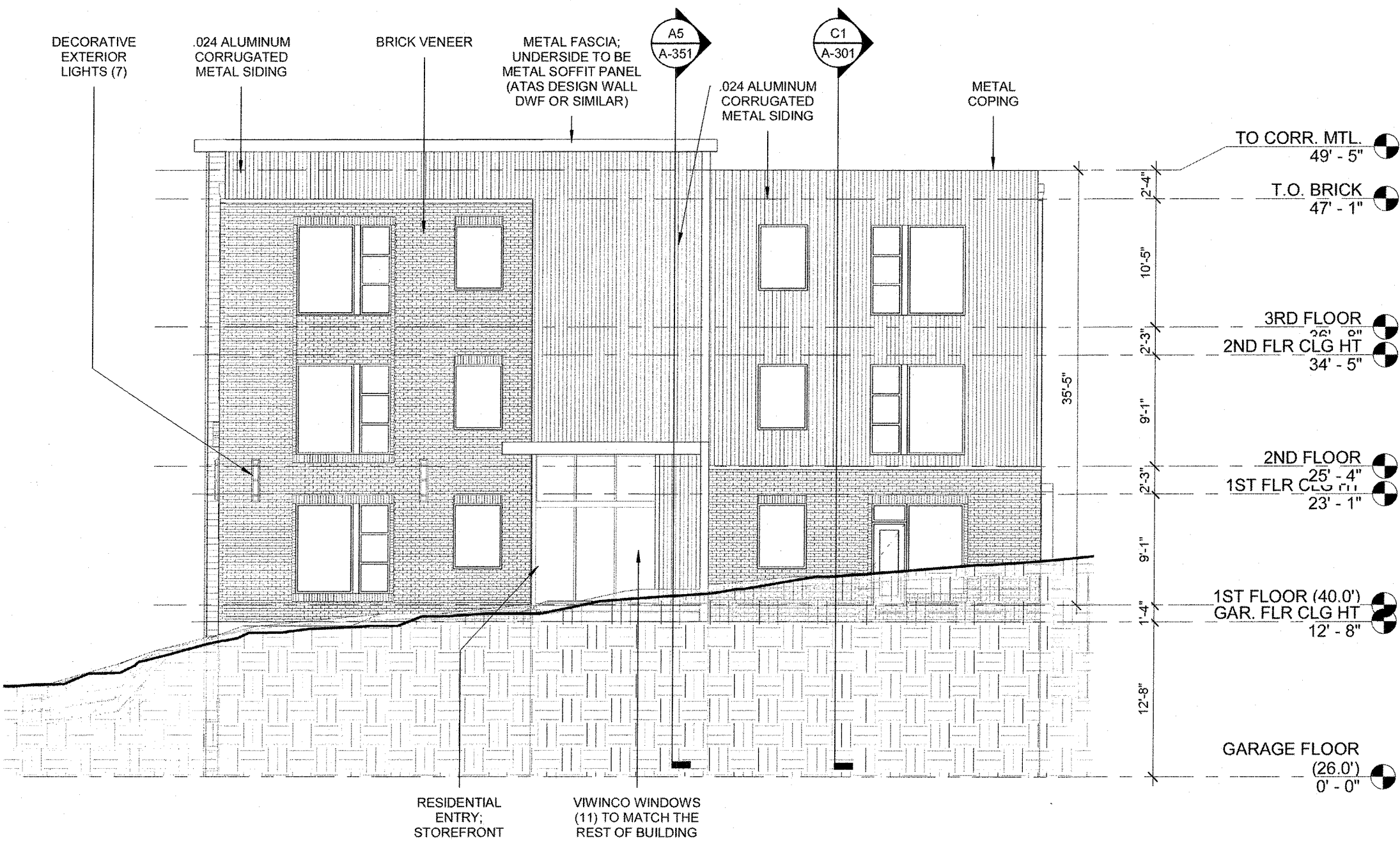
PROJECT: 7512-190360
DATE: SEPTEMBER 9, 2019
DRAWN BY: NK
CHECKED BY: LM

EXTERIOR ELEVATIONS

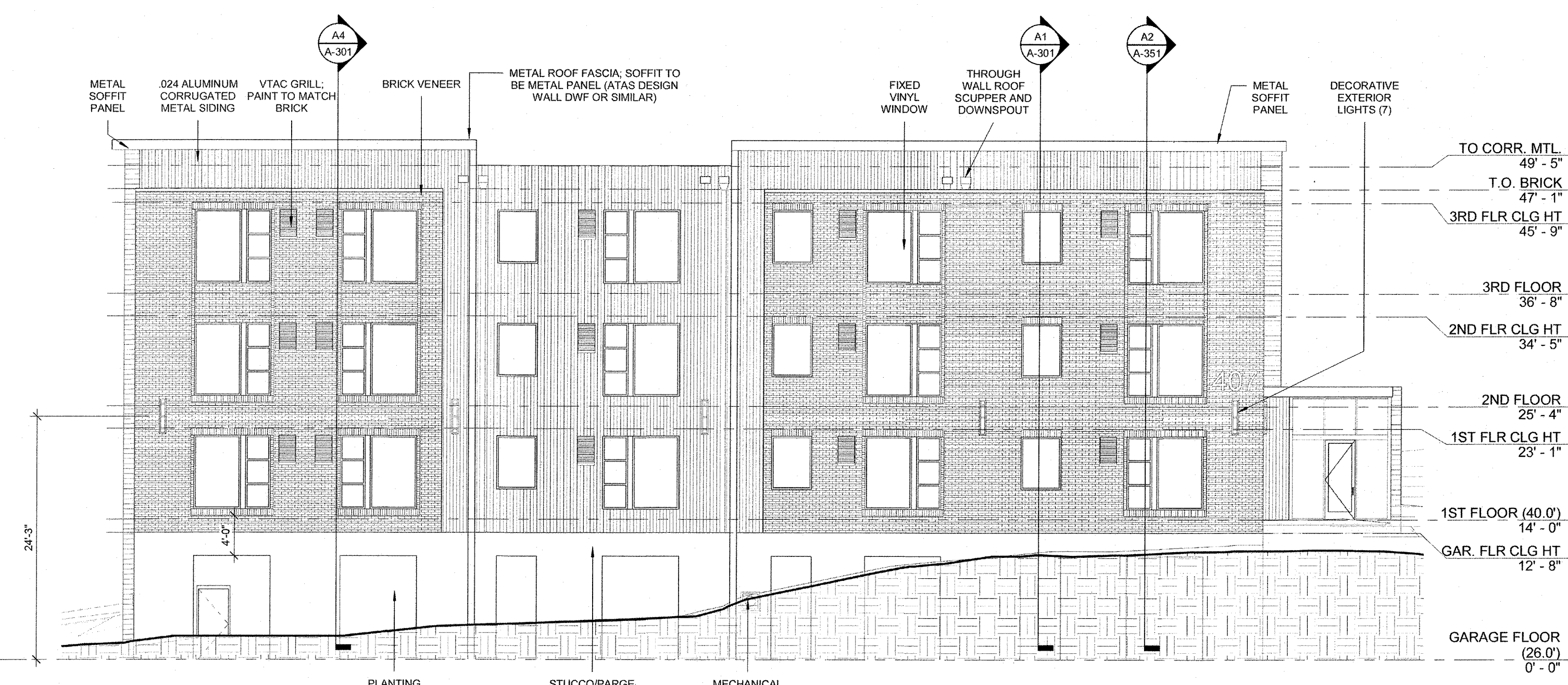
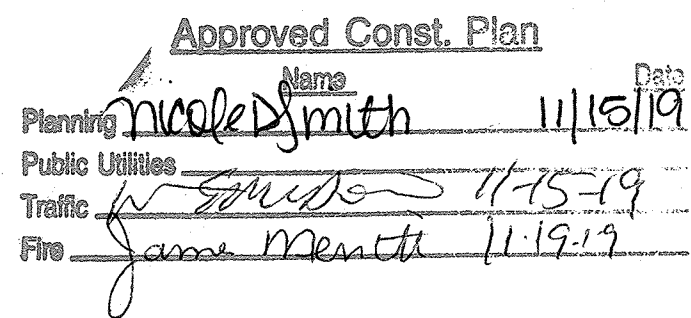
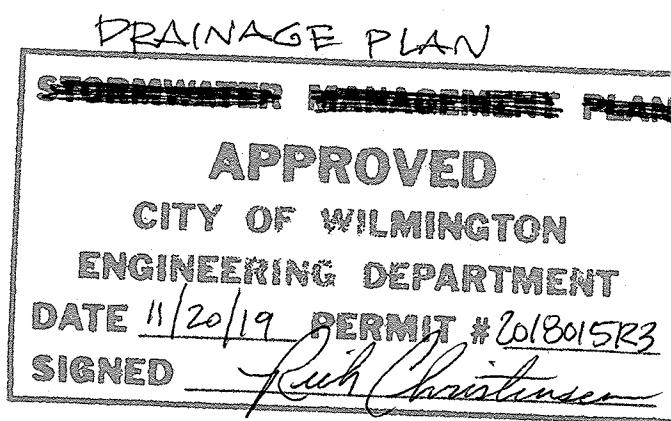
A-201



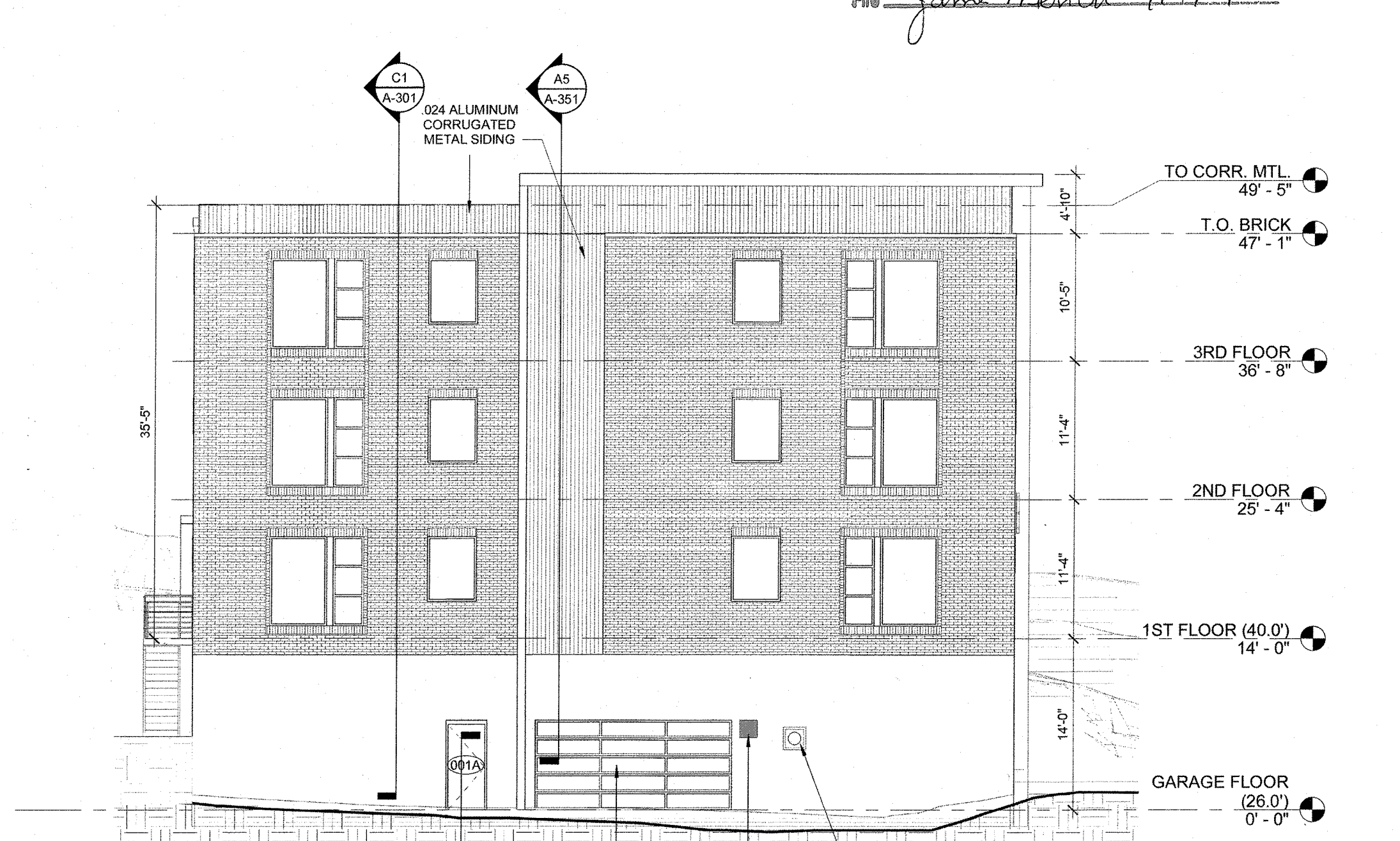
C1 NORTH ELEVATION
1/8" = 1'-0"



C4 EAST ELEVATION (S. 5TH ST.)
1/8" = 1'-0"



A1 SOUTH ELEVATION (WOOSTER ST.)
1/8" = 1'-0"



A4 WEST ELEVATION
1/8" = 1'-0"